

251 S. TEXAS AVE.

HENDERSON, NEVADA 89015

PERMIT SET

ABBREVIATIONS

| | | | |
|----------|---------------------------|------------|----------------------|
| ABV. | ABOVE | MAS. | MASONRY |
| AFF. | ABOVE FINISHED FLOOR | MAX. | MAXIMUM |
| ACT. | ACOUSTICAL TILE | MAT. | MATERIAL |
| ADD'L. | ADDITIONAL | MECH. | MECHANICAL |
| AHU. | AIR HANDLING UNIT | MAS. | METAL |
| ALUM. | ALUMINUM | MFR. | MANUFACTURER |
| AB. | ANCHOR BOLT | MIN. | MINIMUM |
| APPROX. | APPROXIMATE | MIR. | MIRROR |
| ARCH. | ARCHITECT, ARCHITECTURAL | MISC. | MISCELLANEOUS |
| | | MO. | MASONRY OPENING |
| | | MTD. | MOUNTED |
| BM. | BEAM | | |
| BRG. | BEARING | | |
| BLKG. | BLOCKING | ND. | NAPKIN DISPENSER |
| BD. | BOARD | NIC. | NOT IN CONTRACT |
| BLDG. | BUILDING | NV. | NAPKIN VENDOR |
| BL. | BUILDING LINE | NTS. | NOT TO SCALE |
| | | | |
| CAB. | CABINET | OC. | ON CENTER |
| CANT. | CANTILEVER | OD. | OUTSIDE DIAMETER |
| CPT. | CARPET | OFCI. | OWNER FURNISHED, |
| CLG. | CEILING | | CONTR. INSTALLED |
| CL. | CENTERLINE | OFOI. | OWNER FURNISHED, |
| CLASS. | CLASSIFICATION | | OWNER INSTALLED |
| CT. | CERAMIC TILE | OH. | OVERHEAD |
| CCL. | COLUMN | OHG. | OVERHANG |
| COMM. | COMMODITY | OPNG. | OPENING |
| CONC. | CONCRETE | OPP. | OPPOSITE |
| CMU. | CONCRETE MASONRY UNIT | | |
| COND. | CONDENSER | PC. | PIECE |
| CJ. | CONTROL JOINT | PL. | PLATE |
| CONT. | CONTINUOUS | P. LAM. | PLASTIC LAMINATE |
| CONTR. | CONTRACTOR | PLMG. | PLUMBING |
| CURT. | CURTAIN | PLYWD. | PLYWOOD |
| | | PNLG. | PANELING |
| DESIG. | DESIGNATED | PNT. | PAINTING |
| DET. | DETAIL | POLY. | POLYETHYLENE |
| DIA. | DIAMETER | PT. | PRESSURE TREATED |
| DIM. | DIMENSION | PVC. | POLYVINYL CHLORIDE |
| DISP. | DISPENSER | | |
| DF. | DRINKING FOUNTAIN | QT. | QUARRY TILE |
| DN. | DOWN | QTR. | QUARTER RADIUS |
| DS. | DOWNSPOUT | | |
| DWG. | DRAWING | R. | RISER |
| | | RD. | ROOF DRAIN |
| EIFS. | EXTERIOR INSULATING | RE. | REFER |
| | FACING SYSTEM | PNT. | REINFORCEMENT |
| EJ. | EXPANSION JOINT | REQ'D. | REQUIRED |
| ELEC. | ELECTRICAL | RM. | ROOM |
| ELEV. | ELEVATION | RO. | ROUGH OPENING |
| ENAM. | ENAMEL | | |
| ENVIR. | ENVIRONMENT | SC. | SOLID CORE |
| EQUIP. | EQUIPMENT | SCHED. | SCHEDULE |
| EW. | EACH WAY | SD. | SOAP DISPENSER |
| EXIST. | EXISTING | SECT. | SECTION |
| EXP. | EXPANSION | SF. | SQUARE FEET |
| EXT. | EXTERIOR | SHT. | SHEET |
| EXH. | EXHAUST FAN | SHTG. | SHEATHING |
| | | SIM. | SIMILAR |
| FAR. | FLOOR AREA RATIO | SP. | SPACE |
| FD. | FLOOR DRAIN | SPEC. | SPECIFICATIONS |
| FDN. | FOUNDATION | S/S. | STAINLESS STEEL |
| FE. | FIRE EXTINGUISHER | S. | SINK |
| FEC. | FIRE EXTINGUISHER CABINET | STC. | SOUND TRANSMISSION |
| FIN. | FINISH | | COEFFICIENT |
| FIXT. | FIXTURE | STOR. | STORAGE |
| FLEX. | FLEXIBLE | STD. | STANDARD |
| FLR. | FLOOR | STL. | STEEL |
| FLUOR. | FLUORESCENT | STRUCT. | STRUCTURAL |
| FR. | FIRE RETARDANT | SUSP. | SUSPENDED |
| FTG. | FOOTING | | |
| FURR. | FURRING | T.BD. | TACK BOARD |
| | | TB. | TOWEL BAR |
| GA. | GAUGE | TD. | TOWEL DISPENSER |
| GALV. | GALVANIZED | TELE. | TELEPHONE |
| GEN. | GENERAL | THLD. | THRESHOLD |
| GL. | GLASS GLAZED | TOIL. | TOILET |
| GYP. BD. | GYP. BOARD | TPH. | TOILET PAPER HOLDER |
| | | TR. | TOWEL RECEPTACLE |
| | | TYP. | TYPICAL |
| HB. | HOSE BIB | | |
| HC. | HOLLOW CORE | UNO. | UNLESS NOTED |
| HD. | HEAD | OTHERWISE. | OTHERWISE |
| HDW. | HARDWARE | UV. | UNIT VENTILATOR |
| HORIZ. | HORIZONTAL | | |
| HM. | HOLLOW METAL | | |
| HT. | HEIGHT | VB. | VINYL BASE |
| ID. | INSIDE DIAMETER | VCT. | VINYL COMPOSITE TILE |
| INSUL. | INSULATE, INSULATION | VERT. | VERTICAL |
| INT. | INTERIOR | VEST. | VESTIBULE |
| | | VWC. | VINYL WALL COVERING |
| JAN. | JANITOR | | |
| JST. | JOIST | W/. | WITH |
| JT. | JOINT | WC. | WATER CLOSET |
| | | WD.A. | WOOD |
| LAM. | LAMINATE | WDW. | WINDOW |
| LAV. | LAVATORY | WH. | WATER HEATER |
| LG. | LONG | W/R. | WATER RESISTANT |
| LT. | LIGHT | WWM. | WELDED WIRE MESH |

DEFERRED SUBMITTAL STATEMENT

PLANS FOR SIGNAGE, FIRE SPRINKLER, AND FIRE MONITORING, SHALL BE SUBMITTED SEPARATELY AS DEFERRED SUBMITTALS BY NEVADA LICENSED CONTRACTORS. THESE SUBMITTALS SHALL BE REVIEWED AND APPROVED PRIOR TO INSTALLATION.

BUILDING DESCRIPTION

| | |
|----------------------------|---------------------------|
| PROJECT TYPE: | NEW CONSTRUCTION |
| OCCUPANCY TYPE: | R-2 |
| TYPE OF CONSTRUCTION: | V-B (combustible) |
| ALLOWABLE AREA (TABLE 503) | SEE LS101 |
| FRONTAGE INCREASE | NO |
| FIRE SPRINKLER INCREASE | YES - S13R |
| TOTAL ALLOWABLE AREA | 7000 SF (IBC TABLE 506.2) |
| ACTUAL AREA | 3918 SF |
| ALLOWABLE HEIGHT | 60 FT |
| ACTUAL HEIGHT | 30'-10 1/2" |
| OCCUPANT LOAD | 8 BEDROOMS |

FIRE PROTECTION SYSTEMS

| | YES | NO |
|---|-----------|----|
| AUTOMATIC FIRE SPRINKLER SYSTEM | X - S13 | |
| ALTERNATIVE AUTOMATIC FIRE EXTINGUISHING SYSTEM | | X |
| PORTABLE FIRE EXTINGUISHERS | X | |
| FIRE EMERGENCY ALARM & DETECTION SYSTEMS | BY OTHERS | |
| HVAC & AIR DISTRIBUTION SYSTEM CONTROLS | | X |
| SMOKE CONTROL SYSTEMS | | X |

FIRE-RESISTANT RATED CONSTRUCTION

| TABLE 601, 602.4 IBC 2012 | | | | | | |
|---|-----|----------|----------|----------------|-------|----------|
| BUILDING ELEMENTS | | REQUIRED | PROVIDED | UL RATING | | |
| STRUCTURAL FRAME | | NO | NO | | | |
| EXTERIOR BEARING WALLS | | NO | NO | | | |
| INTERIOR BEARING WALLS | | NO | NO | | | |
| EXTERIOR NON-BEARING WALLS | | NO | NO | | | |
| INTERIOR NON-BEARING WALLS | | NO | NO | | | |
| FLOOR CONSTRUCTION | | NO | NO | | | |
| SEPARATION BETWEEN DWELLING UNITS | | YES | YES | | | |
| ROOF CONSTRUCTION | | NO | NO | | | |
| FIRE BARRIER | | YES | YES | SEE SHEET A601 | | |
| FIRE SEPARATION DISTANCE (FT) - Measured to CL of Streets | | | | | | |
| NORTH | 30' | SOUTH | 30' | EAST | 25.5' | WEST 30' |
| ROOF COVERING CLASSIFICATION: | | | | | | |
| REQUIRED | | | PROVIDED | | | |

PROJECT TEAM

| | |
|------------|---|
| OWNER | MOTUS, LLC 1525 E. ONTARIO AVENUE, STE 101 CORONA, CA 92881 |
| ARCHITECT | OPA DESIGN STUDIO 7010 EASY WIND DRIVE, SUITE 200 AUSTIN, TX 78752 |
| STRUCTURAL | MONTGOMERY CONSULTING ENGINEERS, LLC 9680 W. TROPICANA AVE, SUITE 132 LAS VEGAS, NEVADA 89147 |
| MEP | MARIANO ENGINEERING 6940 SOUTH DURANGO DRIVE, STE 100 LAS VEGAS, NEVADA 89113 |
| CIVIL | DWYER ENGINEERING INC. 7310 SMOKE RANCH ROAD, STE E LAS VEGAS, NEVADA 89128 |
| LANDSCAPE | S2 DESIGN STUDIO 2125 PESCARA CT LAS VEGAS, NEVADA 89123 |

CODE SUMMARY

2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL FIRE CODE
2012 UNIFORM MECHANICAL CODE
2012 UNIFORM PLUMBING CODE
2011 NATIONAL ELECTRIC CODE
2012 INTERNATIONAL CONSERVATION CODE
2009 ICC A117.1 2009 ACCESSIBILITY REQUIREMENTS

PROJECT LEGAL DESCRIPTION

APN: 179-18-710-194
LOT TWENTY (20) IN BLOCK TEN (10), HENDERSON TOWNSITE, AS SHOWN BY MAPS THEREOF ON FILE IN BOOK 3 OF PLATS, PAGE 42, AND AMENDED IN BOOK 16 OF PLATS, PAGE 32, IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA.
SAID AREA CONTAINS APPROXIMATELY 0.15 ACRES.

INDEX OF DRAWINGS

A-001 COVER

- C-1 1/7 COVER SHEET
- C-2 2/7 GENERAL NOTES SHEET
- C-3 3/7 SECTIONS & DETAILS SHEET
- C-4 4/7 GEOMETRIC CONTROL PLAN
- C-5 5/7 UTILITY PLAN
- C-6 6/7 GRADING PLAN
- C-7 7/7 HORIZONTAL CONTROL PLAN

- IR-1.0 IRRIGATION PLAN
- L-1.0 LANDSCAPE PLAN

- A-002 ACCESSIBILITY NOTES
- A-003 ACCESSIBILITY NOTES
- A-100 SITE PLAN
- A-101 FIRST FLOOR PLAN
- A-102 SECOND FLOOR PLAN
- A-103 ROOF PLAN
- A-104 FIRST FLOOR REFLECTED CEILING PLAN
- A-105 SECOND FLOOR REFLECTED CEILING PLAN
- A-201 EXTERIOR ELEVATIONS
- A-202 EXTERIOR ELEVATIONS
- A-301 BUILDING SECTIONS
- A-302 STAIR DETAILS
- A-501 INTERIOR ELEVATIONS
- A-502 INTERIOR ELEVATIONS
- A-503 INTERIOR ELEVATIONS
- A-601 SCHEDULES

- SN1 STRUCTURAL GENERAL NOTES
- S1-1.0 FOUNDATION PLAN
- S1-2.0 FLOOR FRAMING PLAN
- S1-3.0 ROOF FRAMING PLAN
- SD1.0 POST TENSION FOUNDATION DETAILS
- SD1.1 FOUNDATION REPAIR DETAILS
- SD2.0 GENERAL FRAMING DETAILS
- SD3.0 ROOF FRAMING DETAILS
- SD3.1 ROOF FRAMING DETAILS
- SD4.0 OPEN-WEB FLOOR TRUSS DETAILS
- SD4.1 OPEN-WEB FLOOR TRUSS DETAILS

- M-001 SPECS, DETAILS, CALCS, SCHEDULES, LEGEND
- M-101 FIRST FLOOR MECHANICAL PLAN
- M-102 SECOND FLOOR MECHANICAL PLAN

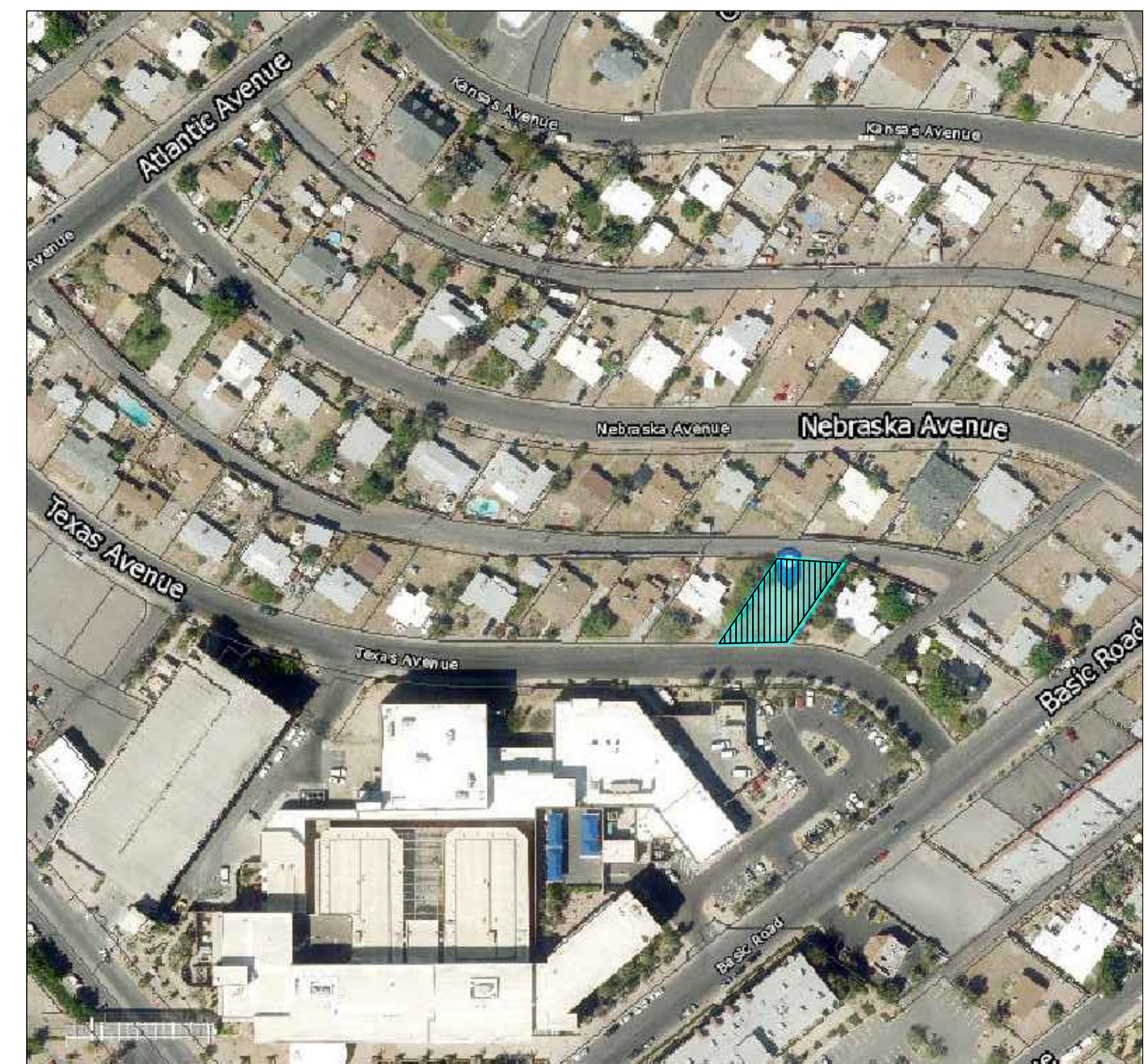
- E-101 SPECS, PLAN NOTES, ABBRS, SHEET INDEX, SYMBOL LIST & PRIOR TO COMMENCING WORK
- E-102 FIRST FLOOR ELECTRICAL PLAN
- E-103 SECOND FLOOR ELECTRICAL PLAN
- E-104 SITE ELECTRICAL PLAN
- E-105 SINGLE LINE DIAGRAM, LIGHT FIXTURES, LOAD CALC., PANEL SCHEDULE, FEEDER, AVAILABLE FAULT % VD SCHEDULE
- E-106 LOAD CALCULATIONS

- P-001 SPECS, SCHEDULE DETAIL, CALCULATIONS, SYMBOL LEGEND & SHEET INDEX
- P-101.1 FIRST FLOOR PLUMBING PLAN (WATER & GAS)
- P-101 FIRST FLOOR PLUMBING PLAN (WASTE & VENT)
- P-102.1 SECOND FLOOR PLUMBING PLAN (WATER AND GAS)
- P-102 SECOND FLOOR PLUMBING PLAN (WASTE & VENT)

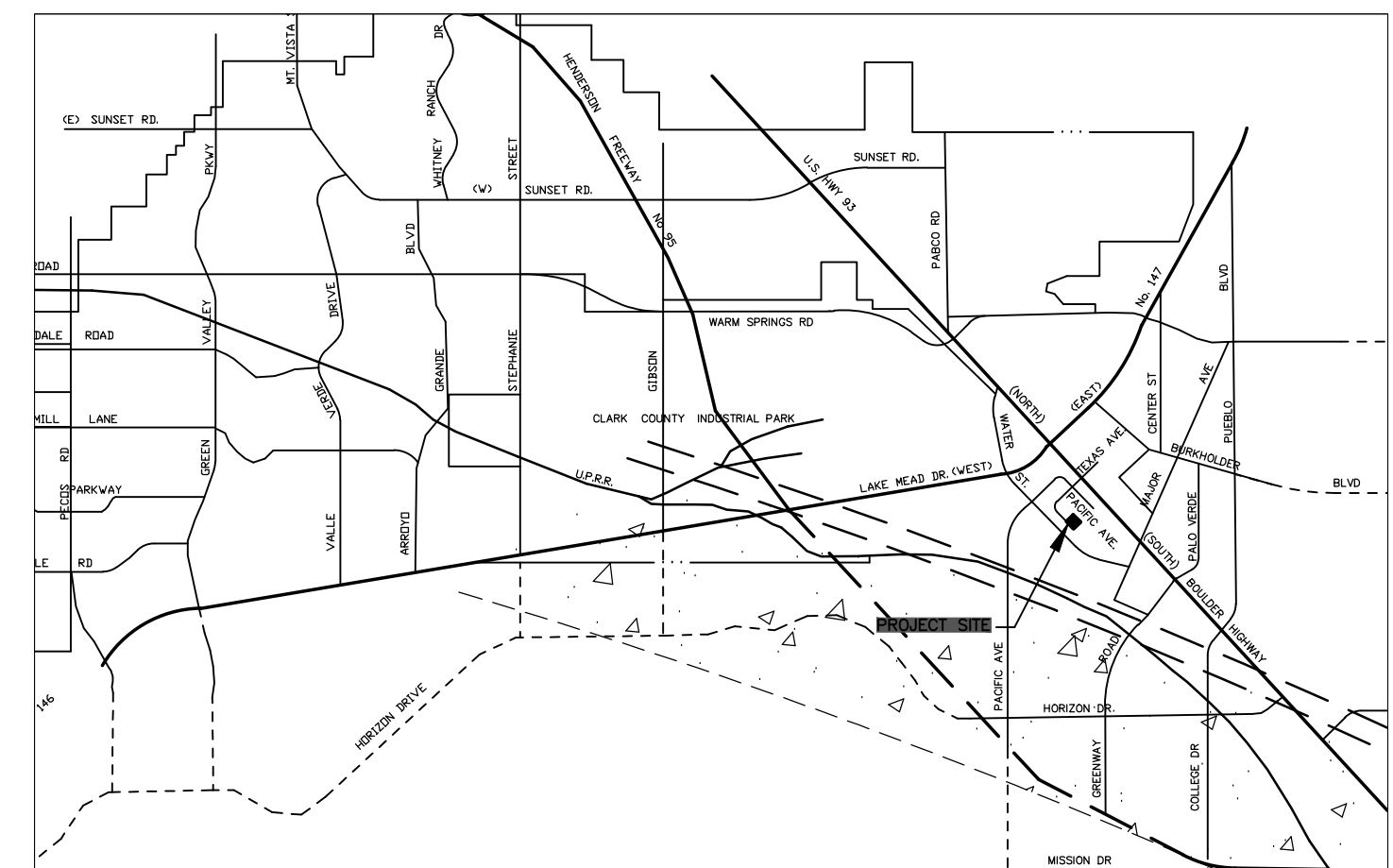


SYMBOLS

| | |
|--------------------------|--------------------|
| 1 | KEY NOTE |
| CL | CENTERLINE |
| 101 | DOOR NUMBER |
| A | WINDOW TYPE |
| 1 | WALL TYPE |
| A | COLUMN GRID NUMBER |
| 1 | REVISION NUMBER |
| MEN 101 9'-0" | ROOM NAME |
| T.O. SLAB ELEV = 101'-0" | ELEVATION MARK |
| 1 / A 201 | DRAWING NUMBER |
| SECTION | DRAWING TITLE |
| SCALE: 1/16" = 1'-0" | DRAWING SCALE |
| 1 / A 201 | BUILDING SECTION |
| 1 A 201 | EXTERIOR ELEVATION |
| 3 2 A 403 1 4 | INTERIOR ELEVATION |
| 1 / A 503 | DETAIL REFERENCE |



LOCATION MAP
N.T.S.



VICINITY MAP
N.T.S.

| NO. | DATE | DESCRIPTION | BY |
|-----|----------|----------------------------|----|
| 1 | 02-04-19 | CITY COMMENTS UPDATES | |
| 2 | 02-04-19 | OWNER REVISIONS | |
| 3 | 02-04-19 | FIRE COMMENT UPDATES | |
| 4 | 03-20-19 | FIRE RISER ROOM ASSEMBLIES | |
| 5 | 07-03-19 | RELEASE DATE | |



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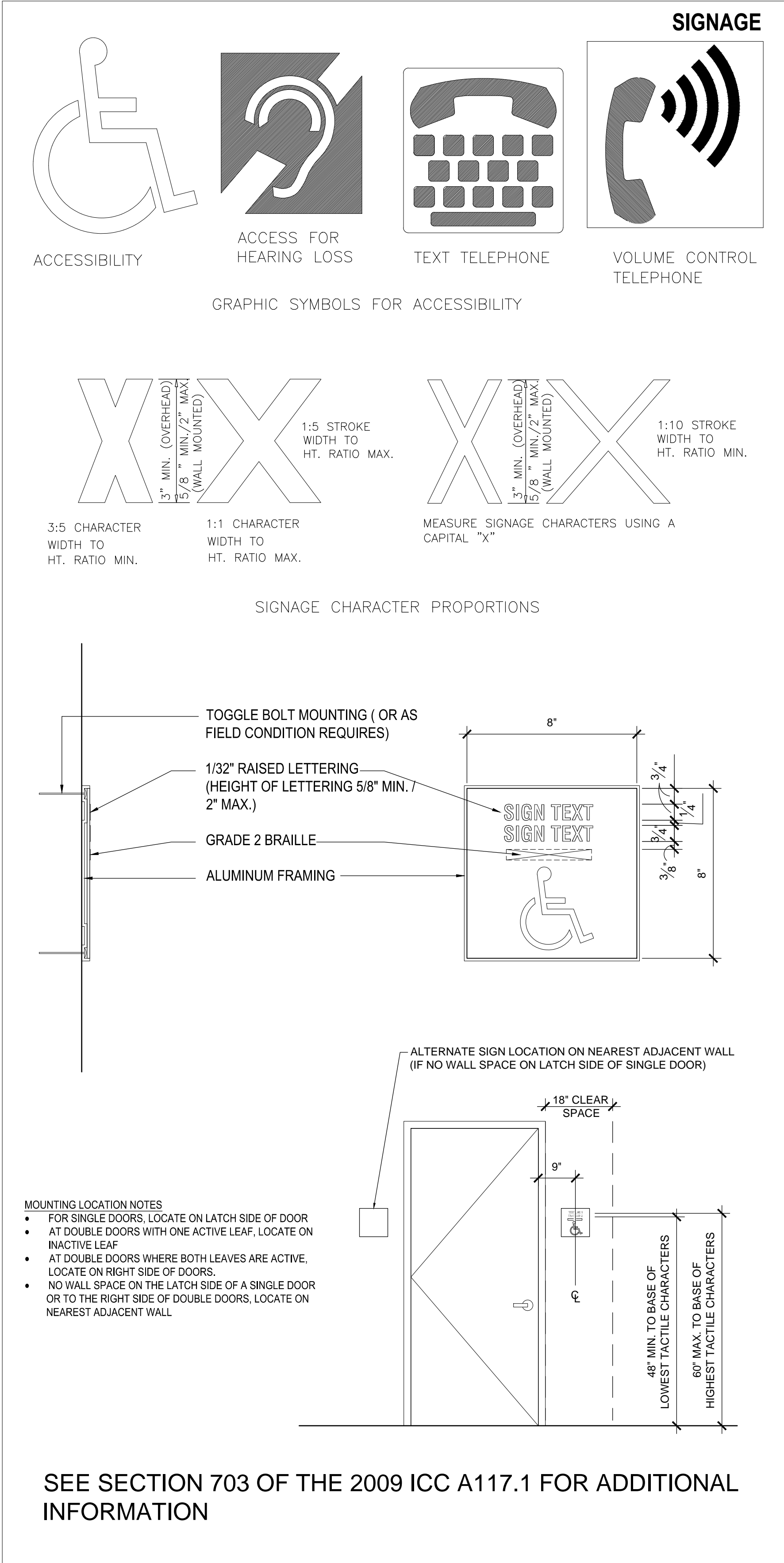
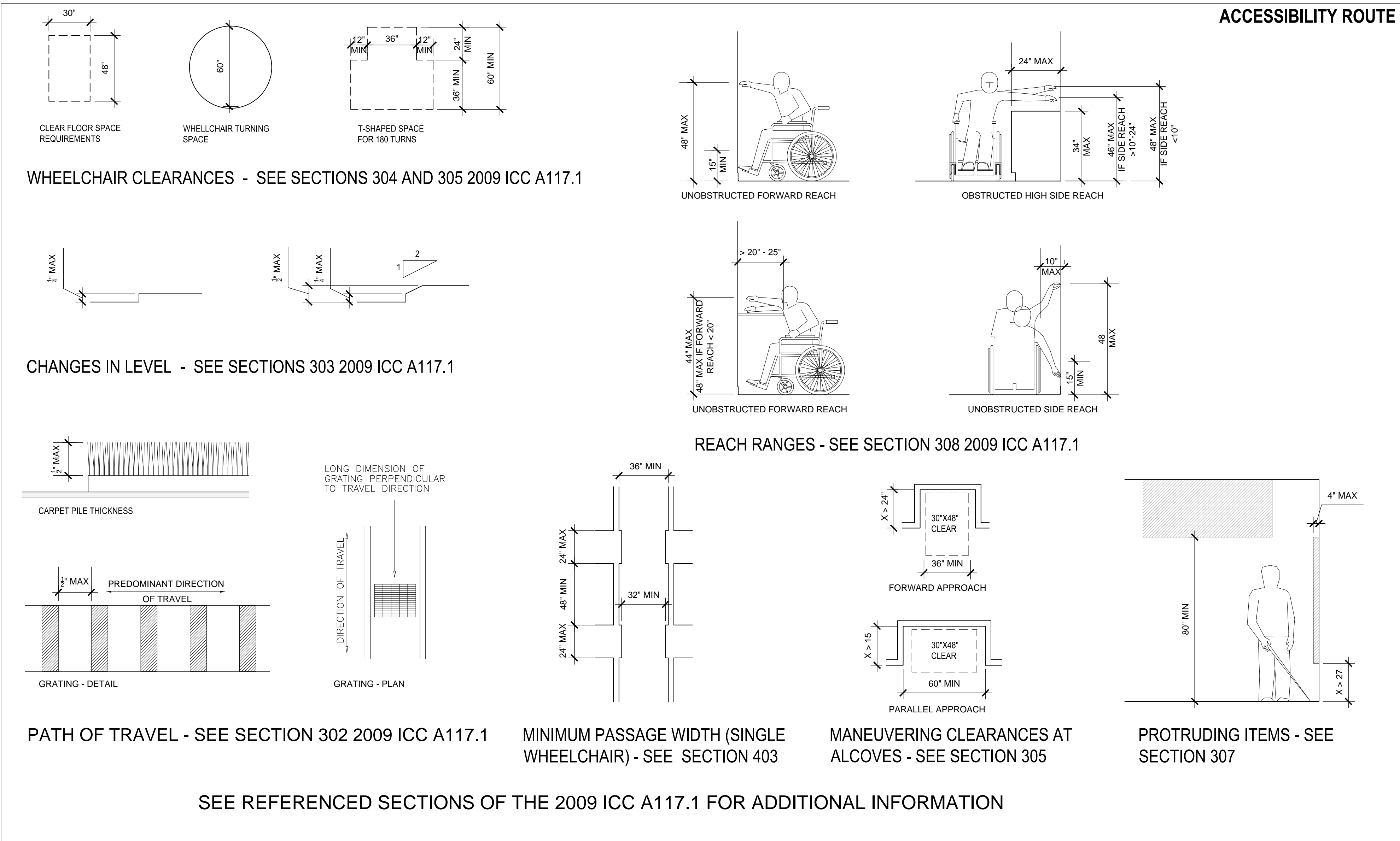
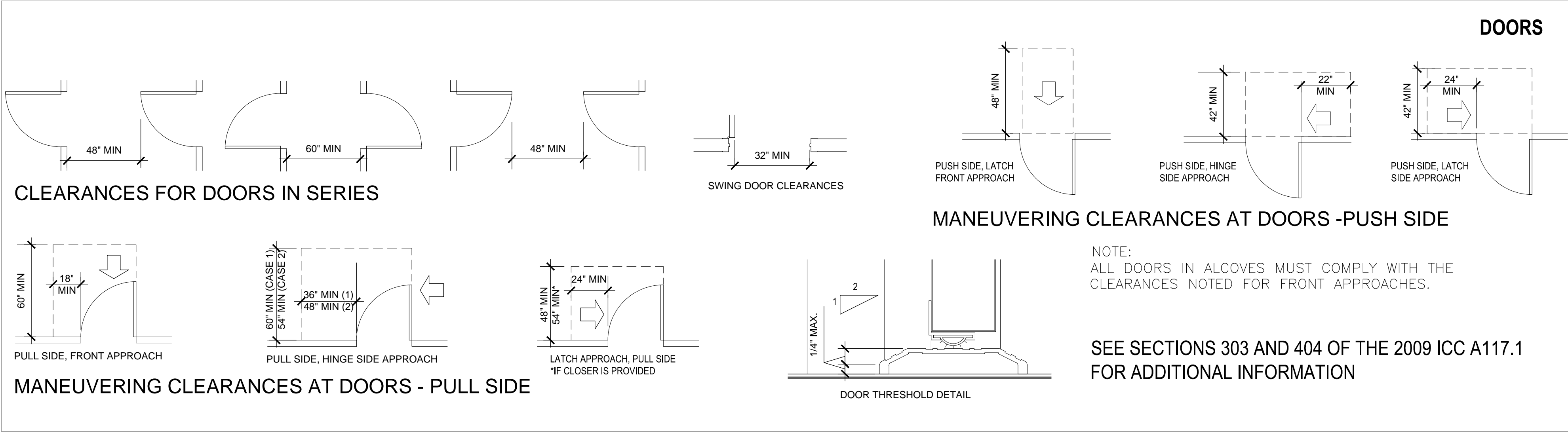
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| | |
|----------|------------|
| JOB NO.: | 201724-C |
| PHASE: | CD |
| DRAWN: | SD, LE, NC |
| CHECKED: | SD |
| DATE: | 03/20/2019 |

A001
COVER SHEET



- ACCESSIBILITY NOTES:**
1. INFORMATION SHOWN ON THESE SHEETS IS BASED ON THE 2009 ICC A117.1.
 2. DO NOT SCALE THESE DRAWINGS
 3. NOT ALL CONDITIONS SHOWN ON THESE SHEETS MAY APPLY TO THIS PROJECT. COMPARE THE REQUIREMENTS OF THE ARCHITECTURAL DRAWINGS WITH THIS SHEET FOR RELEVANCE OF INFORMATION.
 4. DIMENSIONS INDICATED ARE MINIMUM/MAXIMUM CLEAR DIMENSIONS, MEASURED TO FINISH. CONTRACTOR IS RESPONSIBLE FOR LAYOUT OF BUILDING ELEMENTS TO ASSURE REQUIREMENTS CAN BE MET.
 5. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND THE INFORMATION SHOWN ON THESE SHEETS.

| NO. | DATE | DESCRIPTION | BY |
|----------|----------|----------------------------|----|
| 02-04-19 | 02-04-19 | CITY COMMENTS UPDATES | |
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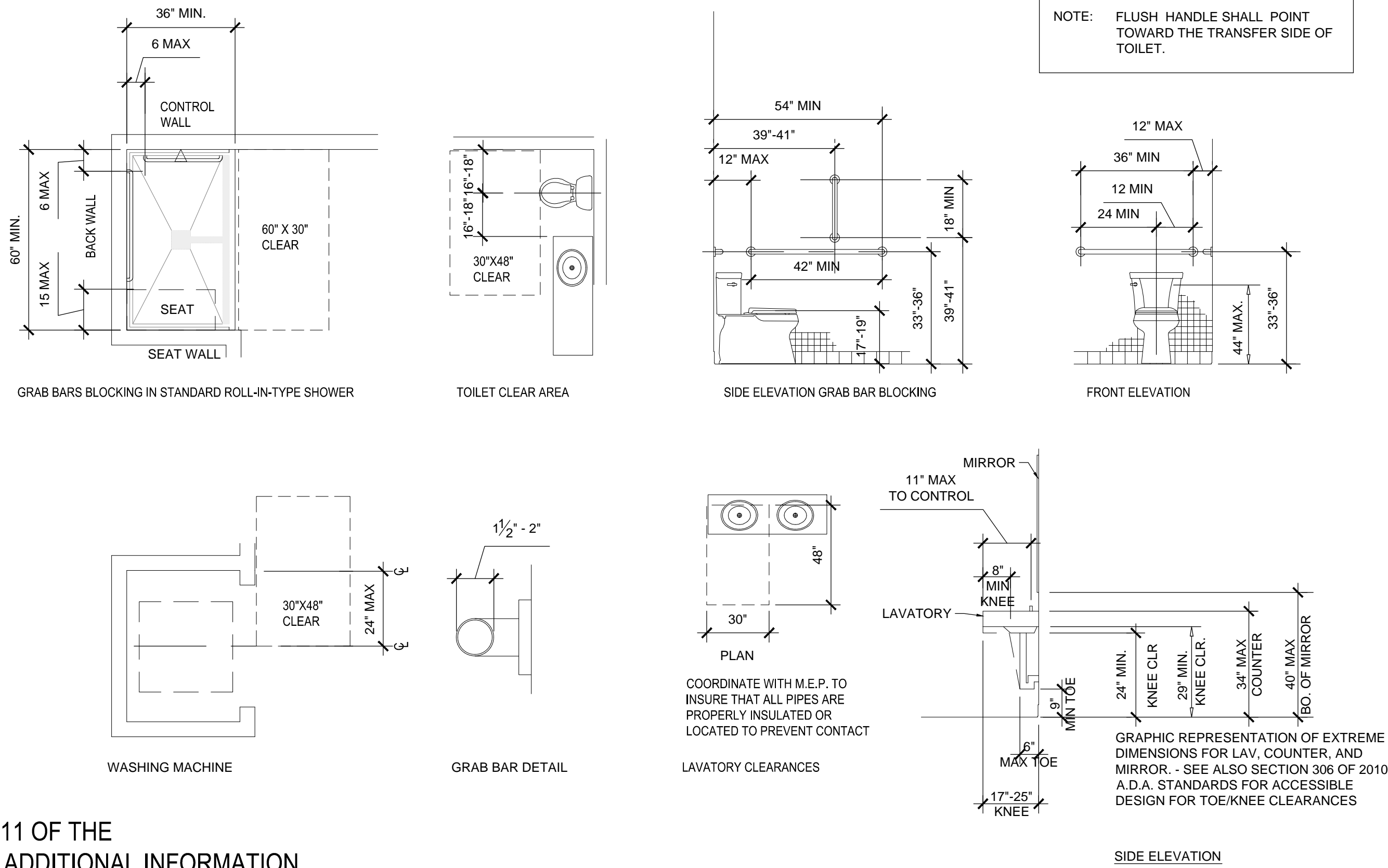
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|----------|------------|
| JOB NO.: | 201724-C |
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A002
ADA GUIDELINES

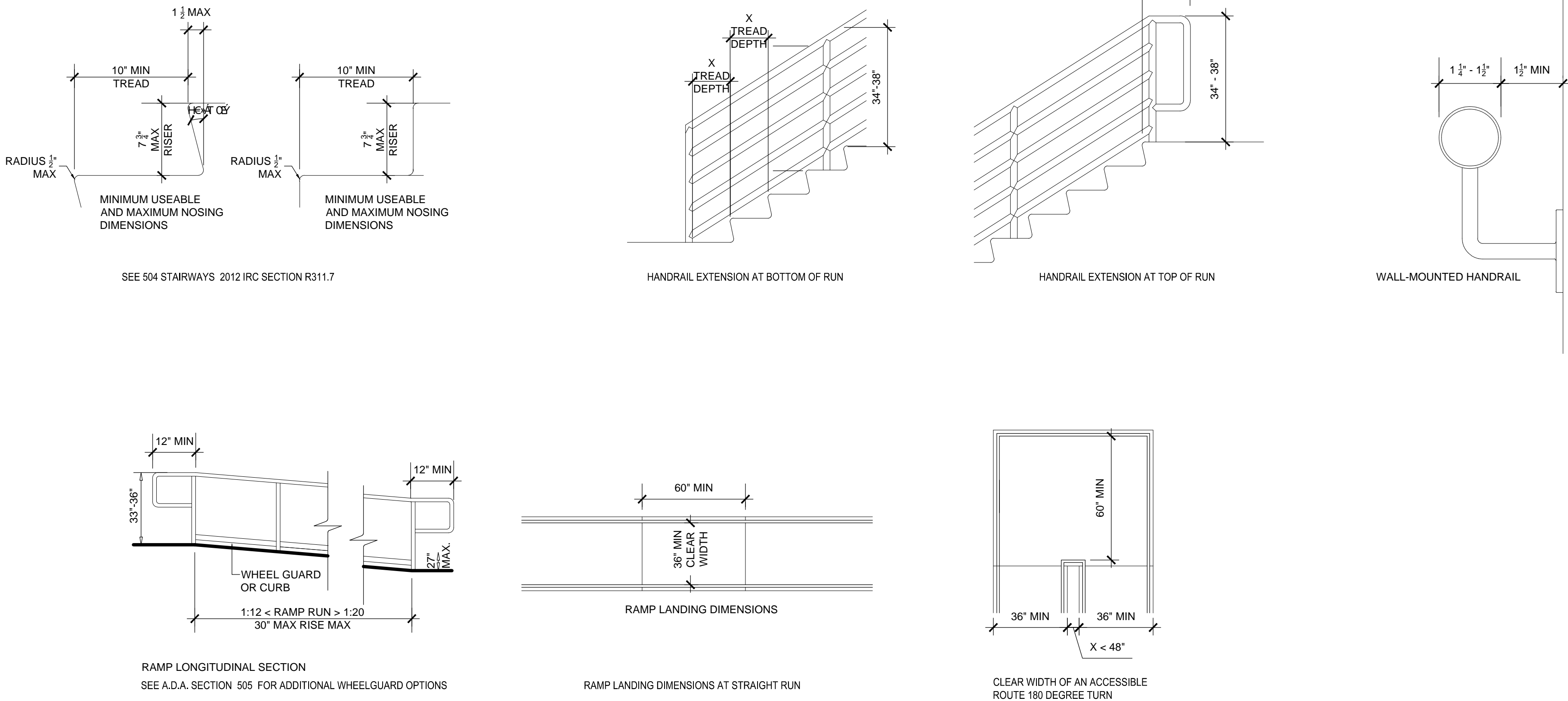
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BATHROOM



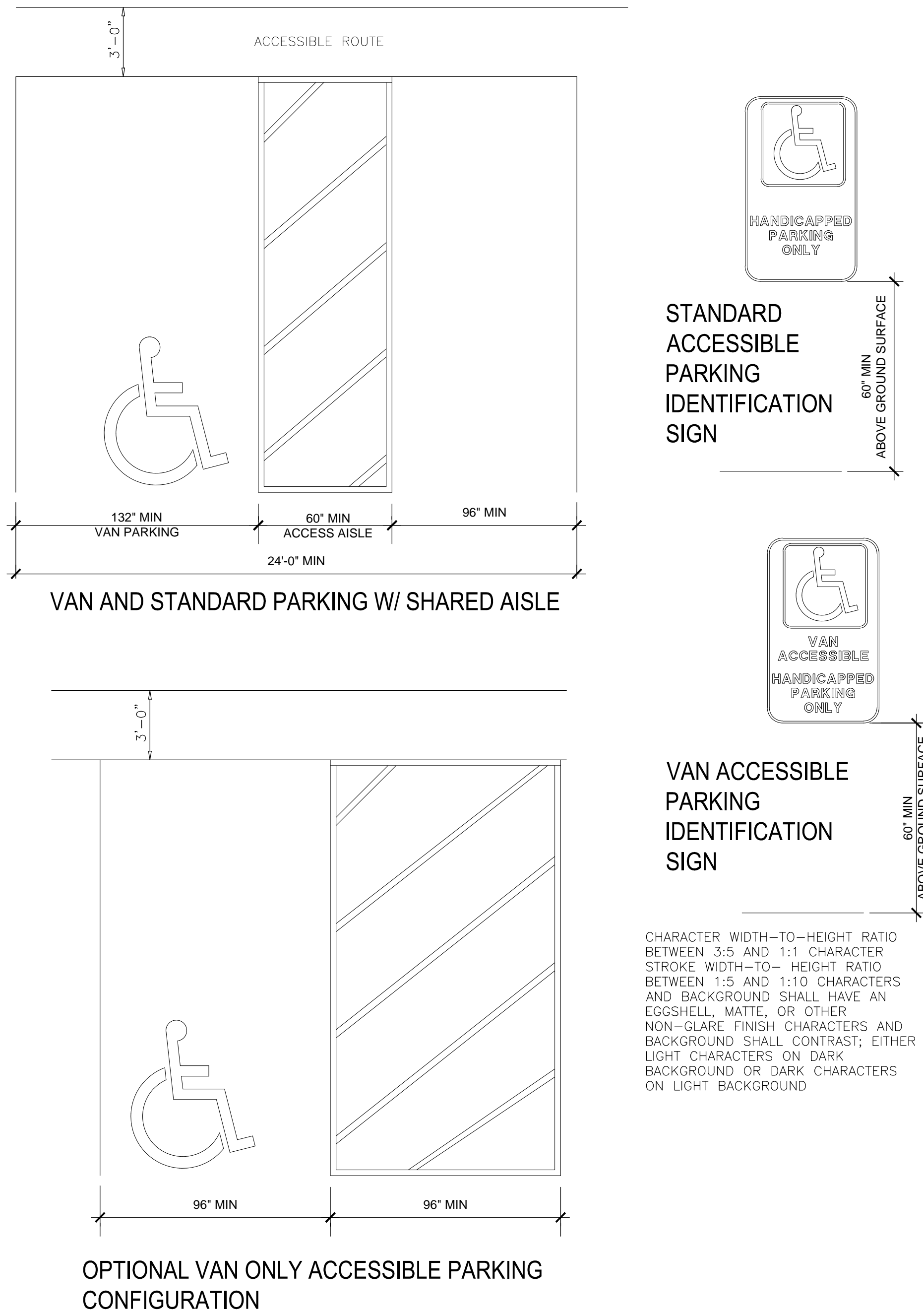
SEE SECTIONS 306, 603, 604, 605, 606, 608, 609, AND 611 OF THE ICC A117.1 2009 ACCESSIBILITY REQUIREMENTS FOR ADDITIONAL INFORMATION

STAIRS, RAMPS AND HANDRAILS

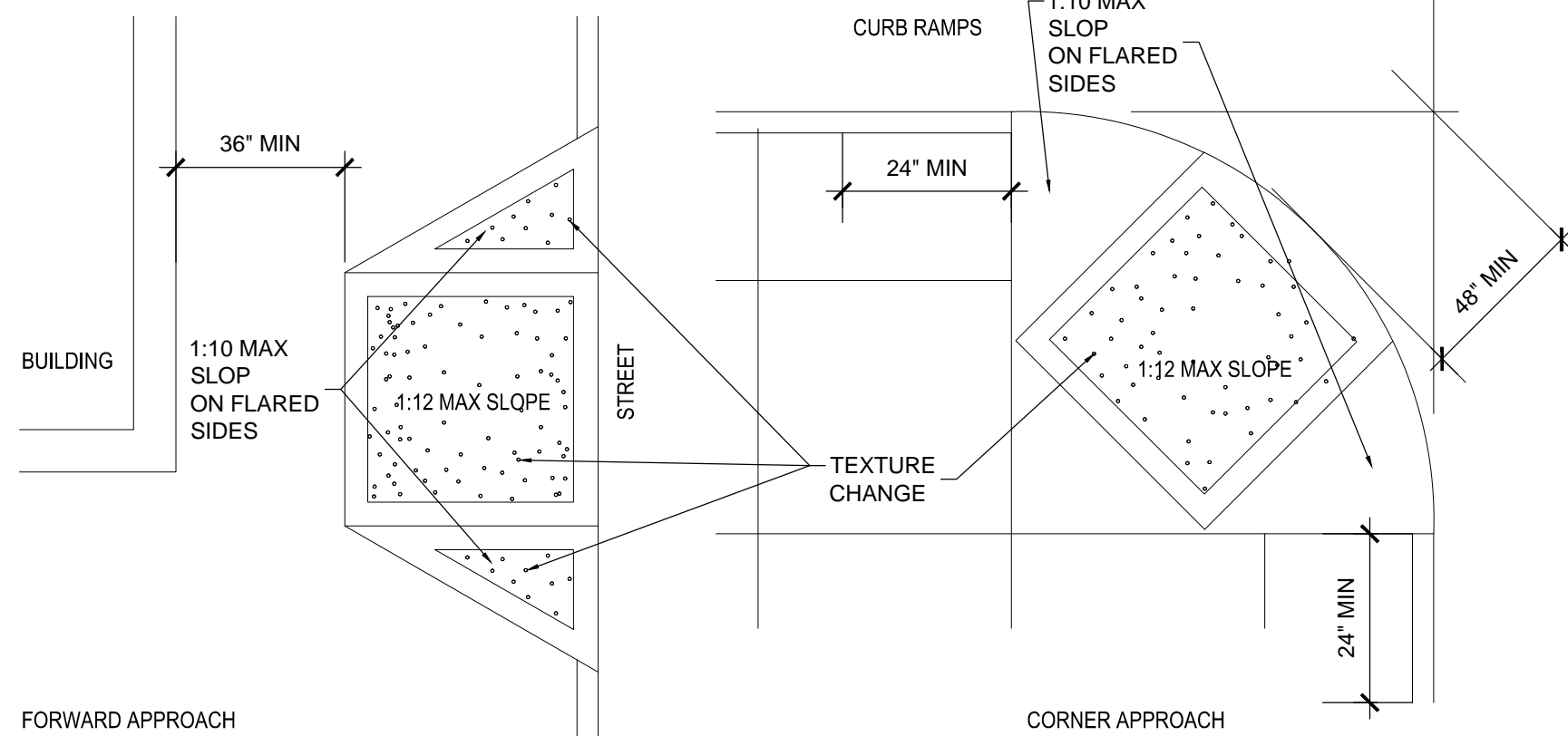


SEE SECTIONS 405, 504 AND 505 OF THE 2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES FOR ACCESSIBLE DESIGN FOR ADDITIONAL INFORMATION

PARKING



SEE SECTION 502 OF THE 2009 ICC A117.1 FOR ACCESSIBLE DESIGN FOR ADDITIONAL INFORMATION



SEE SECTION 406 OF THE 2009 ICC A117.1 FOR ADDITIONAL INFORMATION

| REVISIONS | NO. | DATE | DESCRIPTION | BY |
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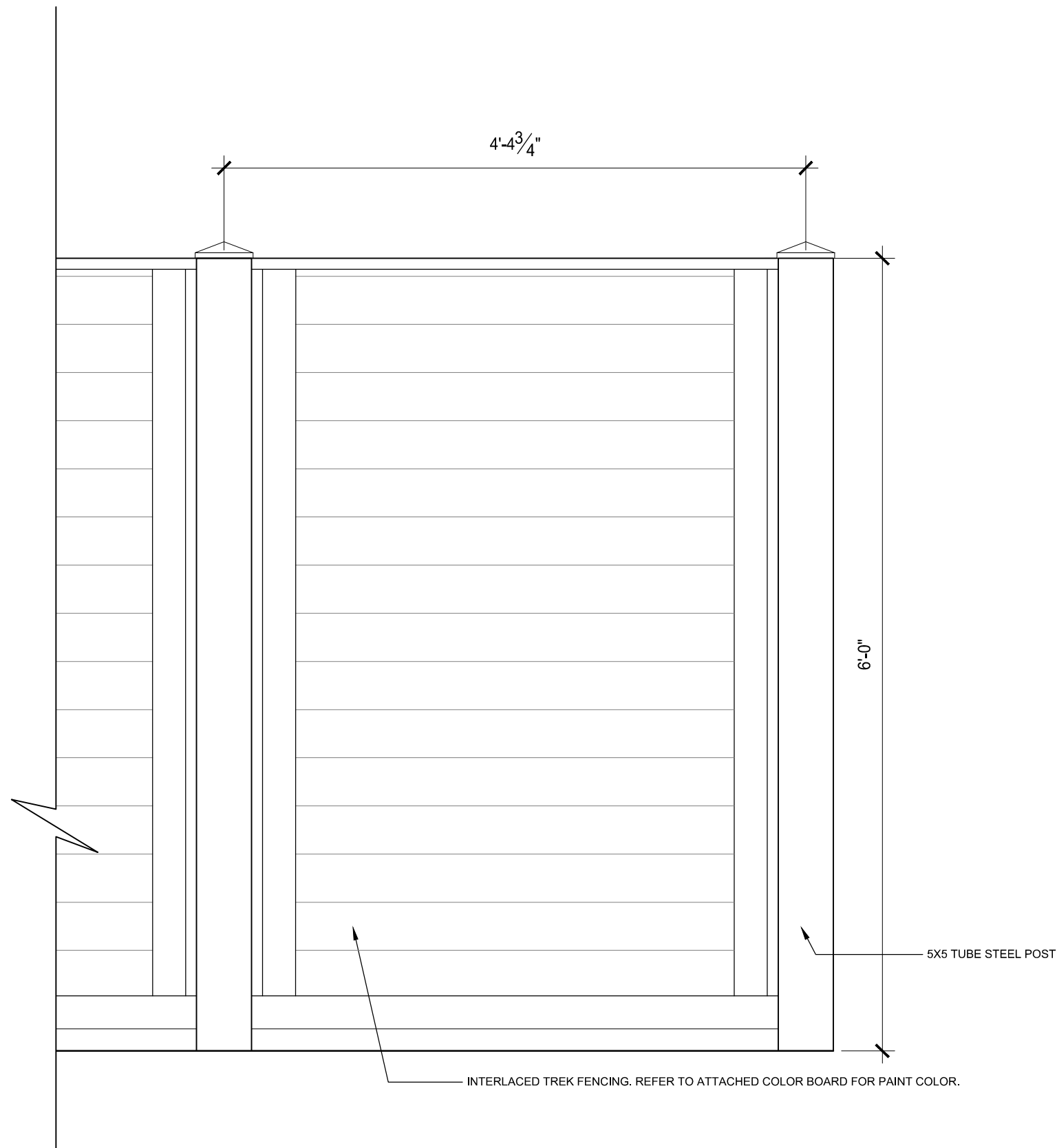
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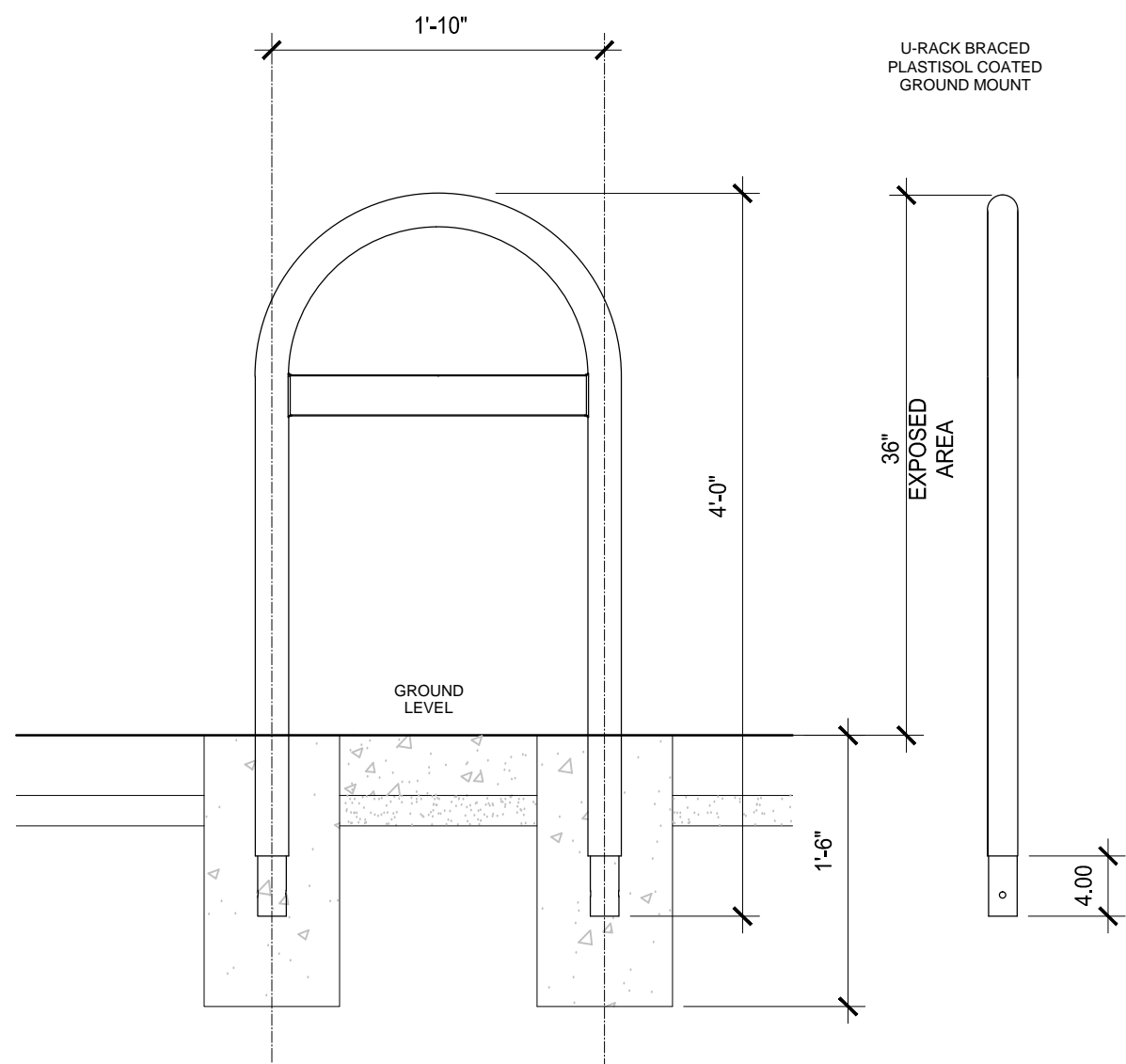
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|----------|------------|
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| DRAWN: | SD, LE, NC |
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| DATE: | 03/20/2019 |

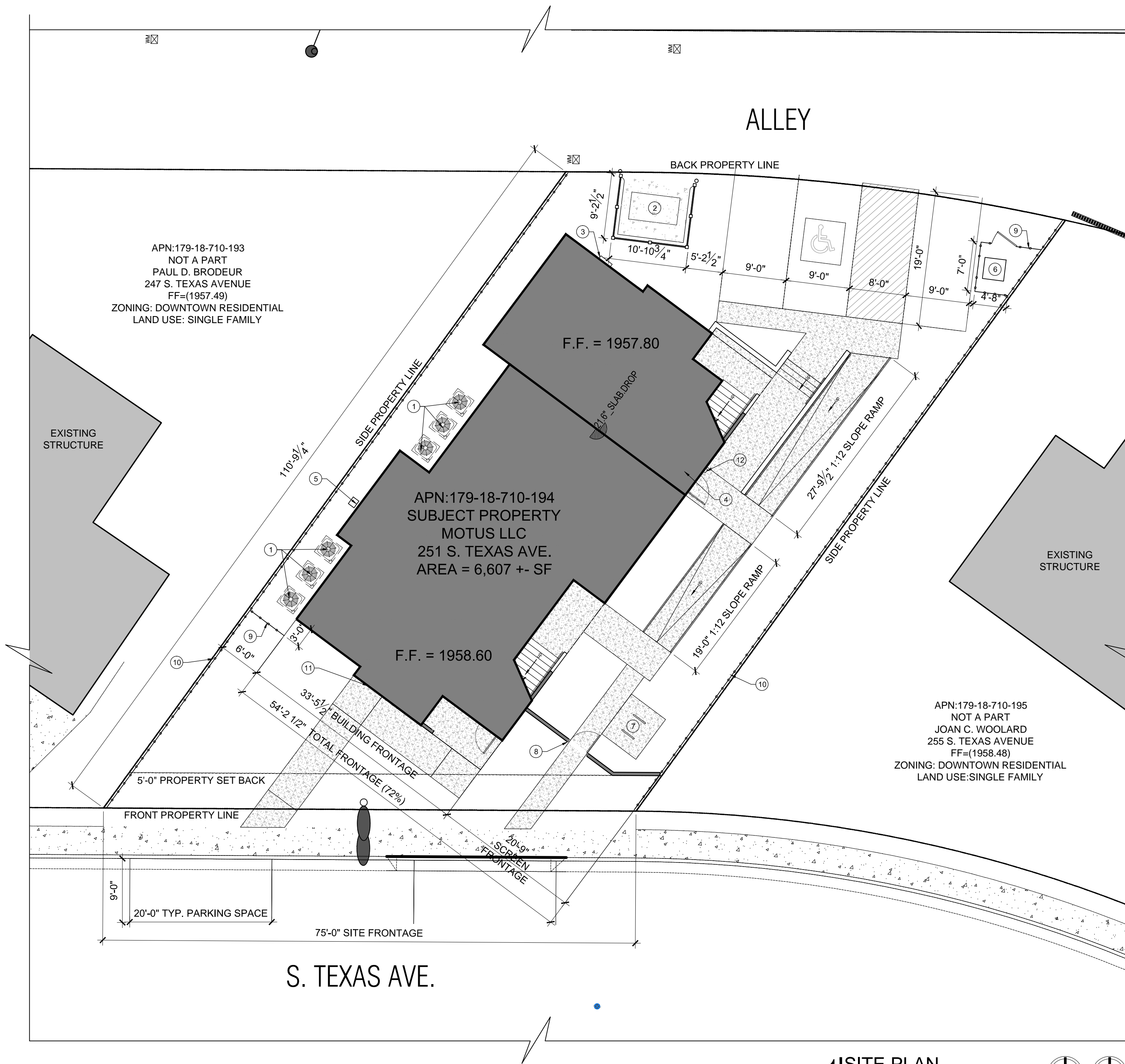
A003
ADA GUIDELINES



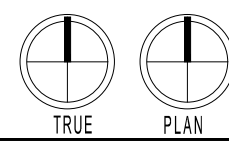
3 | TYPICAL SCREEN DETAIL
SCALE: 1"=1'-0"



2 | BIKE RACK
SCALE: 1"=1'-0"



1 | SITE PLAN
SCALE: 1"=1'-0"



SITE PLAN GENERAL NOTES

- THIS SITE PLAN IS SHOWN FOR REFERENCE ONLY. ENGINEERING SITE PLAN WILL BE SUBMITTED FOR REVIEW BY OTHERS.
- ALL NEW SIDEWALKS AND PARKING SPACES TO BE "NEW GRAY CONCRETE" W/ ANSRI VALUE OF 35 PER PORTLAND CEMENT ASSOCIATION.
- ALL SIDEWALKS, CURBS, STEPS, AND OFF STREET PARKING TO INCLUDE >50% CRUSHED PORTLAND CEMENT CONCRETE AS RECYCLED AGGREGATE.
- IN NEW AND EXISTING BUILDING, KEYS FOR ALL LOCKABLE DOORS: EXTERIOR OR INTERIOR, UTILIZED TO ACCESS FIRE ALARM PANEL(S), MAIN FIRE SPRINKLER CONTROL VALVE(S), AND FIRE PUMP(S) SHALL BE PLACED IN THE KEY BOX. WHENEVER LOCKS ARE CHANGED, THE BUILDING OWNER OR TENANT SHALL REPLACE OLD KEYS INSIDE THE KEY BOX WITH NEW KEYS.

SITE PLAN LEGEND

- PAVED ROADWAY/PARKING
- SIDEWALK AND CONCRETE PADS
- ADA PARKING STRIPING

DEVELOPMENT SUMMARY

| | |
|------------------------|--------------------------|
| # OF UNITS | 6 |
| # OF STORIES | 2 |
| TOTAL UNIT SF: | 3918 SF |
| TOTAL BLDG. FOOTPRINT: | 2297 SF |
| BLDG. HEIGHT: | 29'-10" |
| LOT SIZE: | .15 ACRES, 6607 SF |
| DENSITY ON SITE: | 6 UNITS / .15 ACRES |
| FAR: | 3,918 SF:6,607 SF, .59:1 |

ZONING INFORMATION

| | |
|--------------------|------------------------------------|
| PARCEL #: | 179-18-710-194 |
| LOCATION: | DOWNTOWN BASIC TOWNSITE NORTH AREA |
| ZONING: | DR-MP-RD |
| EXISTING LAND USE: | DOWNTOWN INVESTMENT STRATEGY |

BUILDING FRONTAGE CALCULATION

| | |
|---|---------------------------|
| BUILDING FRONTAGE ON SOUTH TEXAS SIDE OF LOT: | 54'- 2 1/2' / 75'-0", 72% |
|---|---------------------------|

BUILDING COVERAGE CALCULATION

| | |
|------------------------------------|---------------|
| BUILDING FOOTPRINT PERCENT OF LOT: | 2,297 SF, 35% |
|------------------------------------|---------------|

IMPERVIOUS COVERAGE CALCULATION

| | |
|------------------------|----------------|
| BUILDING FOOTPRINT: | 2,297 SF, ~35% |
| PARKING: | 665 SF, ~11% |
| WALKWAYS: | 895 SF, ~14% |
| UTILITY PADS/DUMPSTER: | 206 SF, ~3% |
| TOTAL: | 4,063 SF, 62% |

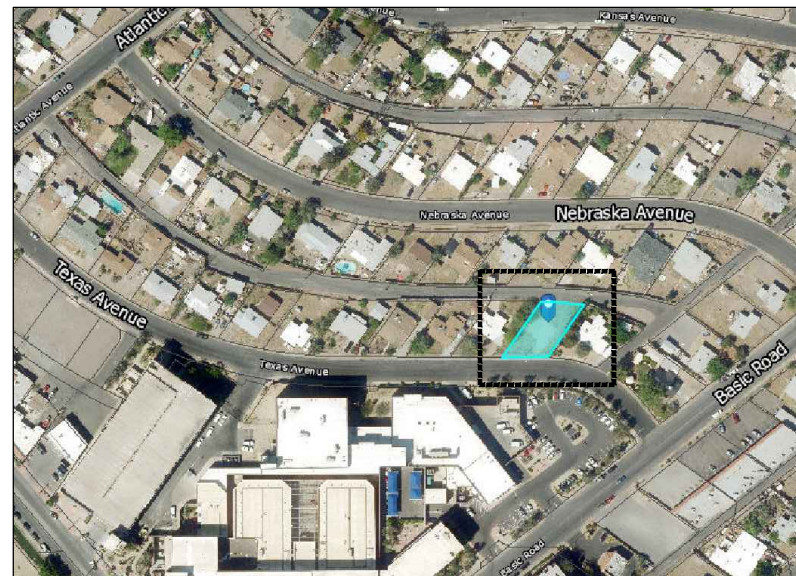
OPEN SPACE COVERAGE CALCULATION

| | |
|-----------------------|---------------|
| TOTAL PERVIOUS COVER: | 2,544 SF, 38% |
|-----------------------|---------------|

PARKING CALCULATION

| | |
|-------------------|----------|
| REGULAR PARKING: | 5 SPACES |
| ADA PARKING: | 1 SPACE |
| TOTAL PARKING: | 6 SPACES |
| REQUIRED PARKING: | 6 SPACES |

VICINITY MAP



SITE PLAN KEY NOTES

- A.C. UNIT, REFER TO MEP
- REPUBLIC APPROVED DUMPSTER ENCLOSURE SURROUNDED BY 6'-0" TALL TRECK FENCING
- ELECTRICAL PANEL, REFER TO MEP
- FIRE RISER ROOM LOCATION
- GAS METER, REFER TO MEP
- TRANSFORMER, REFER TO MEP
- TWO 2' LONG INVERTED "U" TYPE BICYCLE RACKS CONFORMING WITH COH DEV. CODE SEC. 19.7.4.K.13. EACH BIKE RACK PARKS TWO BICYCLES AND ARE ANCHORED ON A 6'X7' CONCRETE PAD.
- 8'-6" TALL STUCCO WING WALL/GATE
- 6'-0" TALL INTERLACED TREK FENCE SCREENING
- 6'-0" TALL INTERLACED TREK FENCING ALONG PROPERTY LINE ATTACHED TO CMU RETAINING WALL PER STRUCTURAL. VERIFY LOCATION IN FIELD
- BUILDING MOUNTED FIRE DEPARTMENT CONNECTION. REFER TO CIVIL ENGINEERS UTILITY PLAN (SHEET 5/7) FOR MORE INFORMATION.
- KNOX BOX PROVIDED BY OWNER INSTALLED 5'-0" ABOVE FINISH FLOOR.

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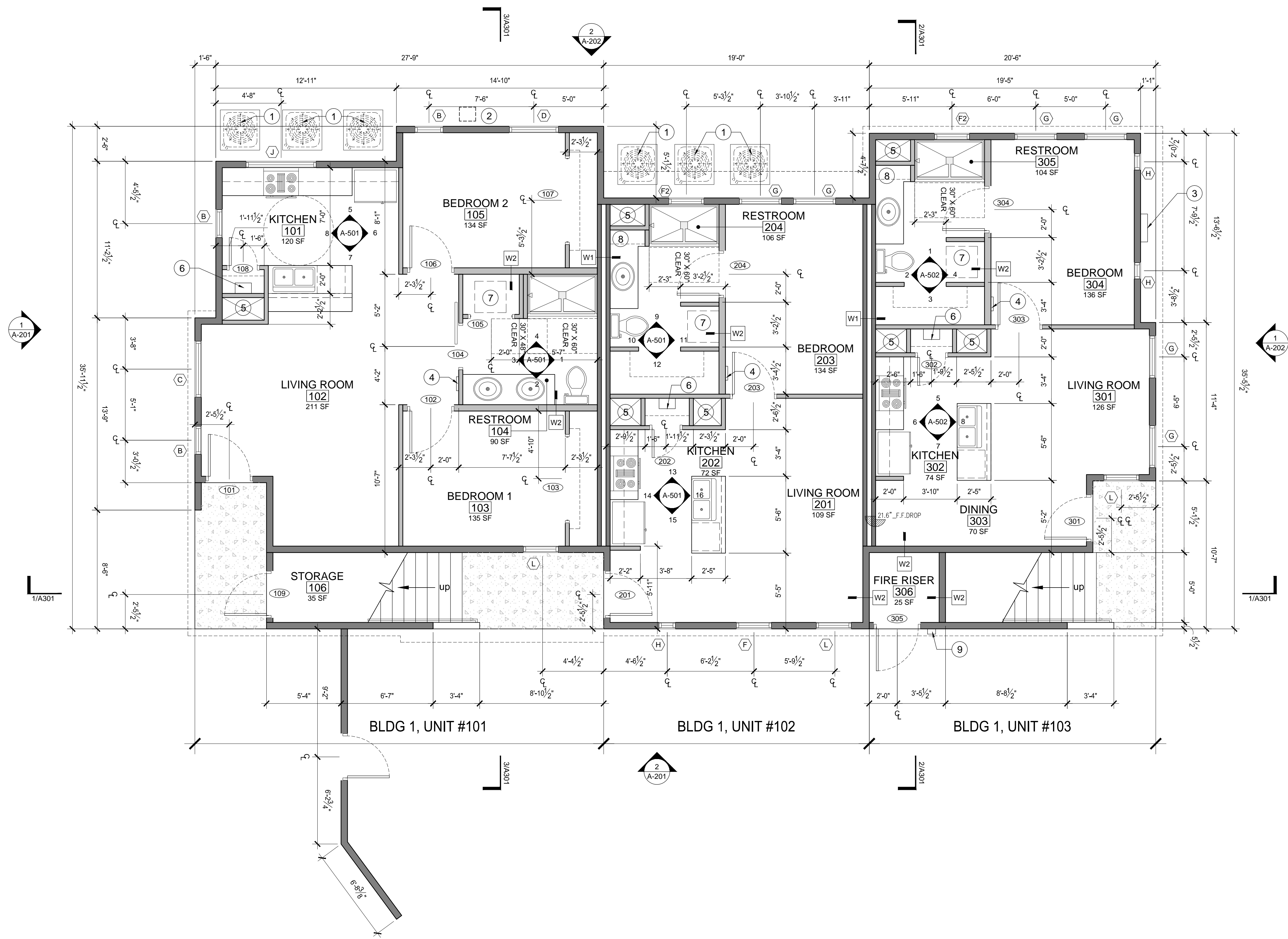
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A100
SITE PLAN



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"
TRUE PLAN

LEGEND

- EXTERIOR WALL
- INTERIOR WALL
- WALL TYPE PER A-601
- WINDOW TYPE PER A-601
- DOOR TYPE PER A-601
- FLOOR PLAN KEYNOTE
- EXTERIOR ENTRY LANDING

FLOOR PLAN GENERAL NOTES:

- DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- THIS DESIGN ASSUMES 6" WOOD STUDS AT BUILDING PERIMETER WITH R19 BATT INSULATION. "LINE OF STRUCTURE" REFERS TO OUTSIDE EDGE OF STRUCTURE/INSIDE FACE OF PERIMETER STUDS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC., PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND FINISH-OUT OF THE BUILDING. SITE LAYOUT TO BE VERIFIED BY A LICENSED SURVEYOR WITH WRITTEN VERIFICATION FORWARDED TO THE OWNER/ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED FOR UTILITIES.
- THE OWNER SHALL PAY AND OBTAIN ALL REQUIRED PERMITS AND CERTIFICATES FOR DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY FEES AND PERMITS.
- ANY FIELD CONDITIONS NOT CALLED OUT ON THE ARCHITECTURAL PLANS ARE TO BE COORDINATED WITH THE CONTRACTOR, ARCHITECT AND OWNER AND OTHERS AS NECESSARY IN THE FIELD.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS AND ACTUAL FIELD CONDITIONS PRIOR TO START OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO THE EXISTING PROPERTY, BUILDINGS OR OWNER'S EQUIPMENT INCURRED BY HIS STAFF OR SUBCONTRACTORS.
- THE ARCHITECT WILL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL OF, NOR BE IN CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, NOR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK.
- UNITS TO BE SEPARATED BY 1 HOUR FIRE BARRIERS AT WALLS AND FLOOR STRUCTURE.
- ALL INTERIOR WALLS NOT NOTED WITH WALL TAG IS 2X4 WOOD WALL WITH OUT FIRE BARRIER REQTS.
- IN NEW AND EXISTING BUILDING, KEYS FOR ALL LOCKABLE DOORS, EXTERIOR OR INTERIOR, UTILIZED TO ACCESS FIRE ALARM PANEL(S), MAIN FIRE SPRINKLER CONTROL VALVE(S), AND FIRE PUMP(S) SHALL BE PLACED IN THE KEY BOX. WHENEVER LOCKS ARE CHANGED, THE BUILDING OWNER OR TENANT SHALL REPLACE OLD KEYS INSIDE THE KEY BOX WITH NEW KEYS.
- FIRE RISER ROOM ACCESS DOOR SHALL BE LABELED WITH WEATHERPROOF SIGN STATING "FIRE SPRINKLER ROOM" IN COMPLIANCE WITH IFC 2012 916.10 SIGNAGE. LETTERING SHALL BE A MINIMUM OF 2" IN HEIGHT AND WITH A MINIMUM STROKE OF 3/8".

AREA CALCULATIONS

| | | |
|-------------------|----------------|-------------------|
| BLDG 1, UNIT #101 | 761 SF | 2 BEDROOM |
| BLDG 1, UNIT #102 | 564 SF | 1 BEDROOM |
| BLDG 1, UNIT #103 | 558 SF | 1 BEDROOM |
| BLDG 1, UNIT #201 | 857 SF | 2 BEDROOM |
| BLDG 1, UNIT #202 | 563 SF | 1 BEDROOM |
| BLDG 1, UNIT #203 | 615 SF | 1 BEDROOM |
| TOTAL: | 3918 SF | 8 BEDROOMS |

- FLOOR PLAN KEYNOTES**
- A.C. UNIT
 - GAS METER
 - ELECTRICAL PANEL
 - SUB PANEL
 - UTILITY CHASE
 - TANKLESS WATER HEATER
 - STACKED WASHER/DRYER
 - MILLWORK CABINET
 - KNOX BOX PROVIDED BY OWNER INSTALLED 5'-0" ABOVE FINISH FLOOR.

| NO. | DATE | DESCRIPTION | BY |
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| 02-04-19 | | OWNER REVISIONS | |
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| 07-03-19 | | RELEASE DATE | |

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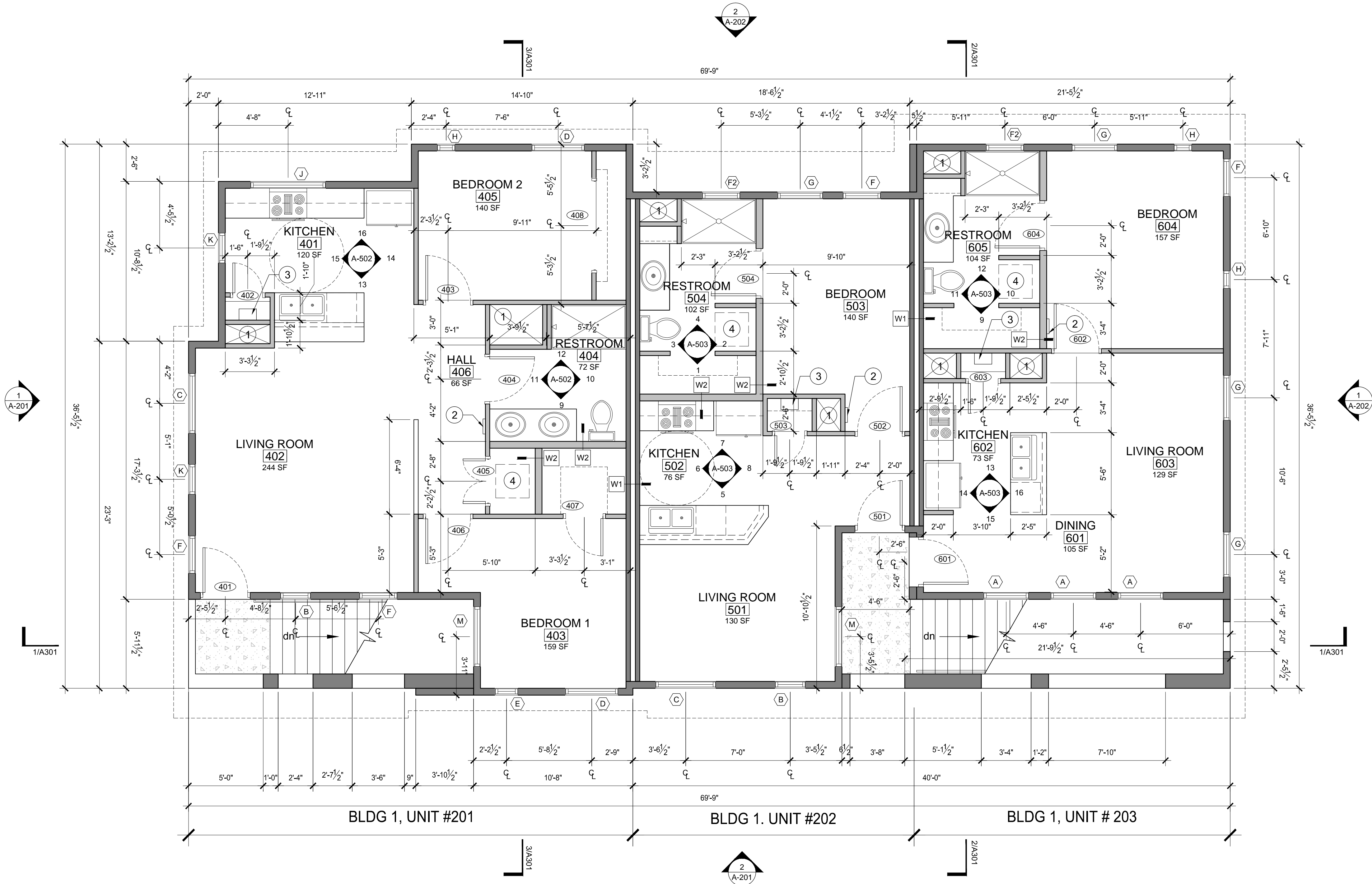
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A101
FIRST FLOOR PLAN



1 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

| LEGEND | | | |
|--------|---------------|------------------------|--|
| | EXTERIOR WALL | | |
| | INTERIOR WALL | | |
| | W# | WALL TYPE PER A-601 | |
| | X | WINDOW TYPE PER A-601 | |
| | # | DOOR TYPE PER A-601 | |
| | # | FLOOR PLAN KEYNOTE | |
| | | EXTERIOR ENTRY LANDING | |

| NO. | DATE | DESCRIPTION | BY |
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| 1 | 02-04-19 | CITY COMMENTS UPDATES | |
| 2 | 02-04-19 | OWNER REVISIONS | |
| 3 | 02-04-19 | FIRE COMMENT UPDATES | |
| 4 | 02-20-19 | FIRE RISER ROOM ASSEMBLIES | |
| 5 | 07-03-19 | RELEASE DATE | |

- FLOOR PLAN GENERAL NOTES:
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| AREA CALCULATIONS | | | |
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| BLDG 1, UNIT #203 | 615 SF | 1 BEDROOM | |
| TOTAL: | 3918 SF | 8 BEDROOMS | |

- FLOOR PLAN KEYNOTES
- UTILITY CHASE
 - SUB PANEL
 - TANKLESS WATER HEATER
 - STACKED WASHER/DRYER



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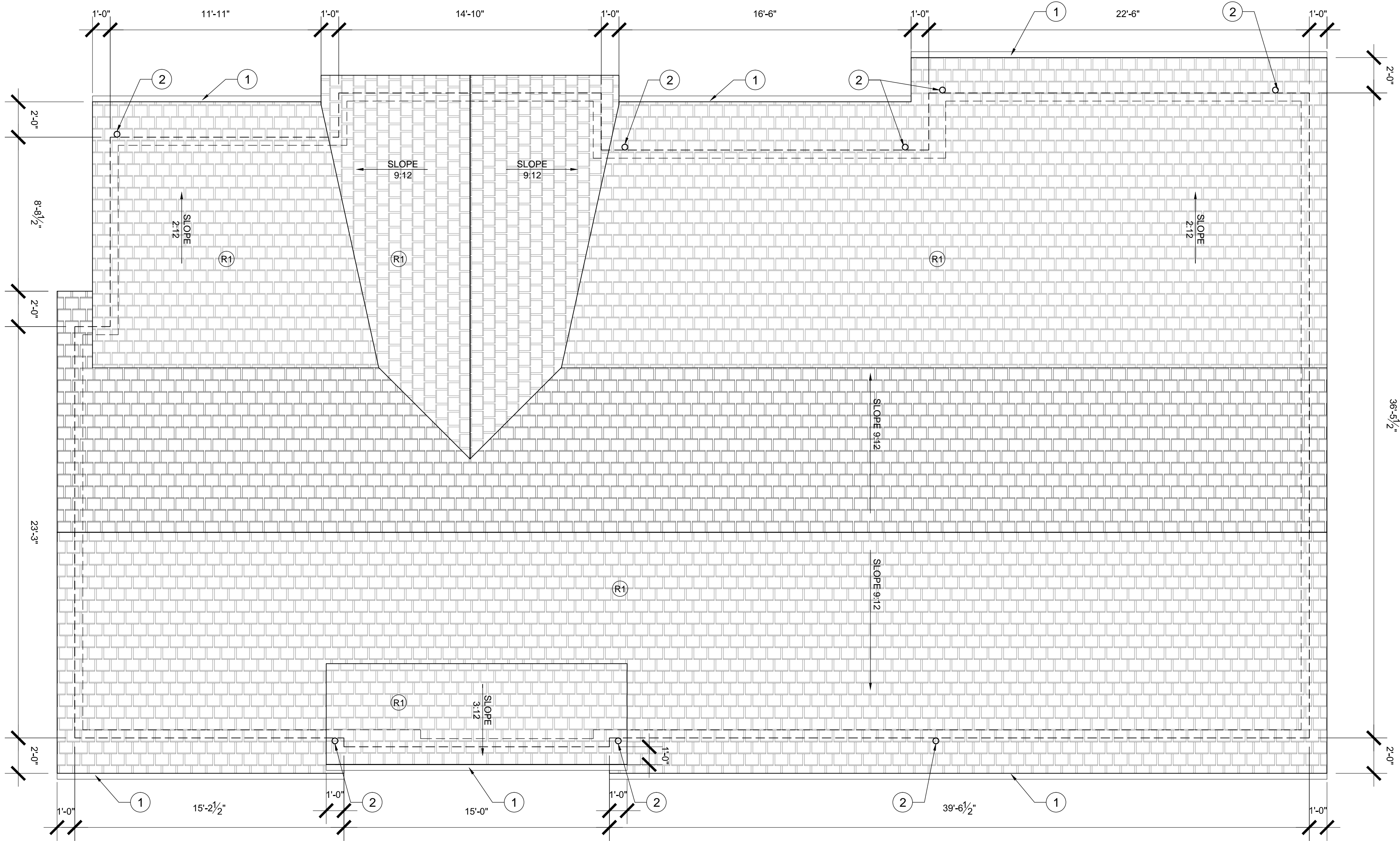
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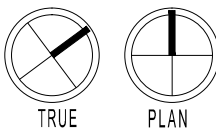
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A102
2ND FLOOR PLAN



1 ROOF PLAN
SCALE: 1/4"=1'-0"



ROOF ASSEMBLIES

(R1) ASPHALT SHINGLE

ROOF PLAN GENERAL NOTES:

1. MANUFACTURER'S REP TO INSPECT ALL ROOFING APPLICATIONS TO ENSURE ADHERENCE TO MFG. GUIDELINES AND CERTIFY TO THE GENERAL CONTRACTOR THAT ROOF IS INSTALLED PER MFG. GUIDELINES.
2. ROOF PENETRATIONS SHOWN ARE SCHEMATIC IN NATURE AND FOR THE CONVENIENCE OF THE CONTRACTOR. GENERAL CONTRACTOR RESPONSIBLE FOR MAKING FINAL COORDINATION OF SIZE, TYPE AND LOCATION OF CURBS (WHERE APPLICABLE) AND ANY OTHER ROOF PENETRATIONS THAT MAY BE REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
3. SEE MEP DRAWINGS FOR ROOF MOUNTED EQUIPMENT (WHERE APPLICABLE) AND PENETRATIONS, MAINTAIN ENGINEER'S MINIMUM REQUIREMENTS FROM VENTS TO AIR INTAKES.
4. ALL ROOFING DETAILS SHALL COMFORM WITH "SMACNA" AND "NRCA" REQUIREMENTS.
5. PROVIDE ROOF ACCESS WITH REQUIRED SAFETY STANDARDS AND ROOF WALKING PADS TO ALL EQUIPMENT (WHERE APPLICABLE).
6. ALL DOWNSPOUTS TO BE 5" GALVANIZED ROUND UNLESS NOTED OTHERWISE, VERIFY DOWNSPOUT SIZE AND LOCATIONS WITH FINAL ROOF RAINWATER CALCULATION AND ARCHITECT. WHERE NOTED, CONNECT DOWNSPOUTS TO STORM WATER DRAIN SYSTEM, REFER TO CIVIL.
7. DOWNSPOUT TERMINATION NOT CONNECTED TO STORM WATER DRAIN SYSTEM TO BE STRAIGHT SHAFT TYPE WITH KICK-OUT AND SPLASHBLOCK.

ROOF PLAN KEYNOTES

- 1 4" GUTTER
- 2 DOWNSPOUT
- 3 ROOF VENT, REFER TO MEP.

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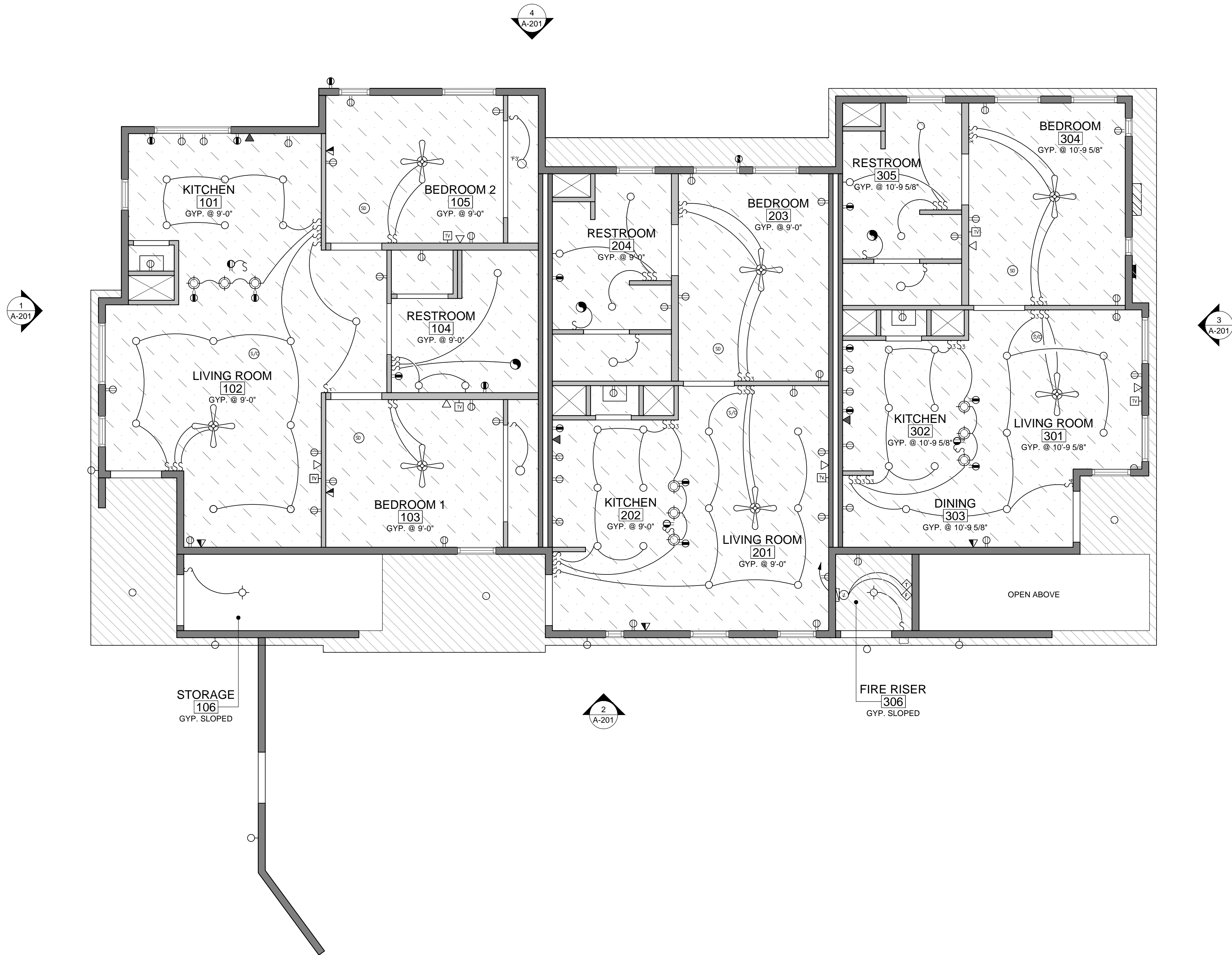
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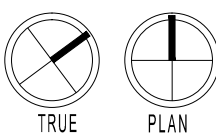
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A103
ROOF PLAN



1 | RCP 1ST FLOOR
SCALE : 1/4"=1'-0"



| CEILING LEGEND: | | | |
|-----------------|-----------------|--|--|
| | STRUCTURAL BEAM | | |
| | GYPSUM BOARD | | |
| | OVERHANG ABOVE | | |
| | DECK UNDERSIDE | | |

- REFLECTED CEILING PLAN GENERAL NOTES:
- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE REFLECTED CEILING PLANS WITH: ELECTRICAL LIGHTING SYSTEMS AND COMMUNICATIONS DRAWINGS / AUDIO VISUAL DRAWINGS MECHANICAL SUPPLIES AND RETURNS EXHAUST DRAWINGS FIRE PROTECTION DRAWINGS CONTRACTOR TO IMMEDIATELY NOTIFY THE ARCHITECT OF ANY ERROR, INCONSISTENCY OR OMISSION.
 - SEE ELECTRICAL, COMMUNICATION, SECURITY AND FIRE PROTECTION DRAWINGS FOR LOCATIONS OF CEILING OR WALL MOUNTED SMOKE DETECTORS, COMMUNICATIONS DEVICES, SECURITY ALARMS, FIRE ALARM DEVICES, ETC. SOME OF THESE ITEMS ARE SHOWN ON THE ARCHITECTURAL PLANS AS WELL.
 - ALL FIXTURES ARE SHOWN FOR DIMENSIONAL LOCATION ONLY. VERIFY WITH ELECTRICAL DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 - A COORDINATED PLAN OF ALL EXPOSED CEILING ELEMENTS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO DESIGN, PERMITTING, FABRICATION AND INSTALLATION OF ANY SYSTEMS OR A COORDINATION MEETING SHALL BE HELD CONFIRMING LOCATION OF ALL EXPOSED FIXTURES PRIOR TO INSTALLATION.
 - SPRINKLER HEADS (WHERE APPLICABLE):
 - SPRINKLER HEAD LOCATIONS ARE NOT INDICATED ON THE ARCHITECTURAL REFLECTED CEILING PLANS.
 - THE CONTRACTOR SHALL INSTALL SUFFICIENT HEADS IN ALL SPACES TO PROVIDE COMPLETE (100%) AUTOMATIC SPRINKLER COVERAGE AS DEFINED BY NFPA STANDARD 13, SPECIFICATION DIVISION 21 - FIRE SUPPRESSION AND AS SHOWN ON THE FIRE PROTECTION DRAWINGS (IF THEY ARE PROVIDED IN THIS DRAWING PACKAGE).
 - NEITHER SPRINKLER HEADS NOR CONCEALED SPRINKLER HEAD COVERS ARE ALLOWED TO BE PAINTED. THE CONTRACTOR SHALL VERIFY THAT ANY SPRINKLER HEADS WHICH ARE ACCIDENTALLY PAINTED ARE REMOVED FROM THE SITE AND REPLACED WITH NEW SPRINKLER HEADS.
 - MEP ENGINEERS AND ARCHITECT TO REVIEW AND APPROVE LOCATIONS OF ALL LIGHTING - CONTRACTOR-PROVIDED AND OWNER-PROVIDED, PRIOR TO INSTALLATION.
 - REFER TO FINISH SCHEDULE FOR GYPSUM BOARD PAINT COLORS AND OTHER MISC. PAINT COLORS.
 - ALL EXPOSED TO VIEW STRUCTURE, EQUIPMENT, CONDUIT AND APPLICABLE DEVICES ARE TO RECEIVE PAINT, COLOR AS SELECTED BY ARCHITECT.
 - ALL CONDUIT IS TO BE CONCEALED FROM VIEW AS MUCH AS POSSIBLE. ROUTE CONDUITS IN FLUTES OF METAL DECK, IN SLAB OR TIGHT AGAINST METAL DECK AS APPROVED BY THE ARCHITECT.
 - FIRE SEAL ALL GAPS, CRACKS AND PENETRATIONS THROUGH CEILINGS AT RATED ASSEMBLIES ONLY.
 - VERIFY EXACT LOCATION FOR OWNER-PROVIDED, CEILING-MOUNTED EQUIPMENT AND DEVICES.
 - LOCATE AIR DEVICES, SPEAKERS, FIRE ALARM DEVICES AND SPRINKLER HEADS THOUGHTFULLY. ALIGN DEVICES AND CENTER IN THE CEILING PANEL WHERE POSSIBLE.
 - ANY ITEMS SUSPENDED FROM THE CEILING OR INSTALLED ON AN INTERIOR WALL IN ANY COMMERCIAL PROJECT MUST NOT HANG LOWER THAN 84" ABOVE THE FINISHED FLOOR.

- REFLECTED CEILING PLAN KEYNOTES
- XXX
 - XXX

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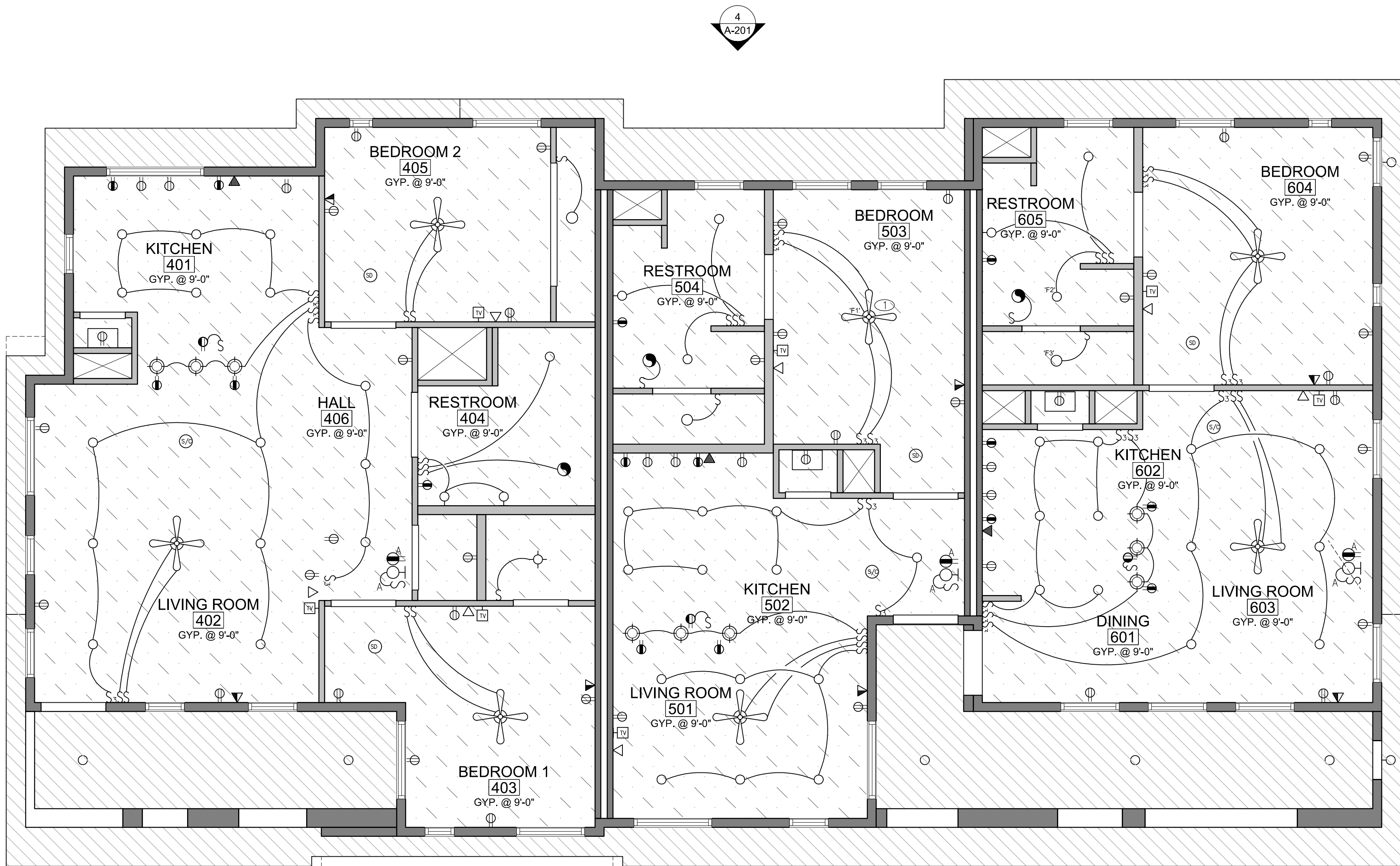
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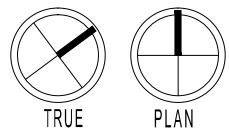
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A104
1ST FLOOR RCP

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RCP 2ND FLOOR
SCALE : 1/4"=1'-0"



CEILING LEGEND:

- STRUCTURAL BEAM
- GYPSUM BOARD
- OVERHANG ABOVE
- DECK UNDERSIDE

REFLECTED CEILING PLAN GENERAL NOTES:

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REFLECTED CEILING PLAN KEYNOTES

- 1 XXX
- 2 XXX

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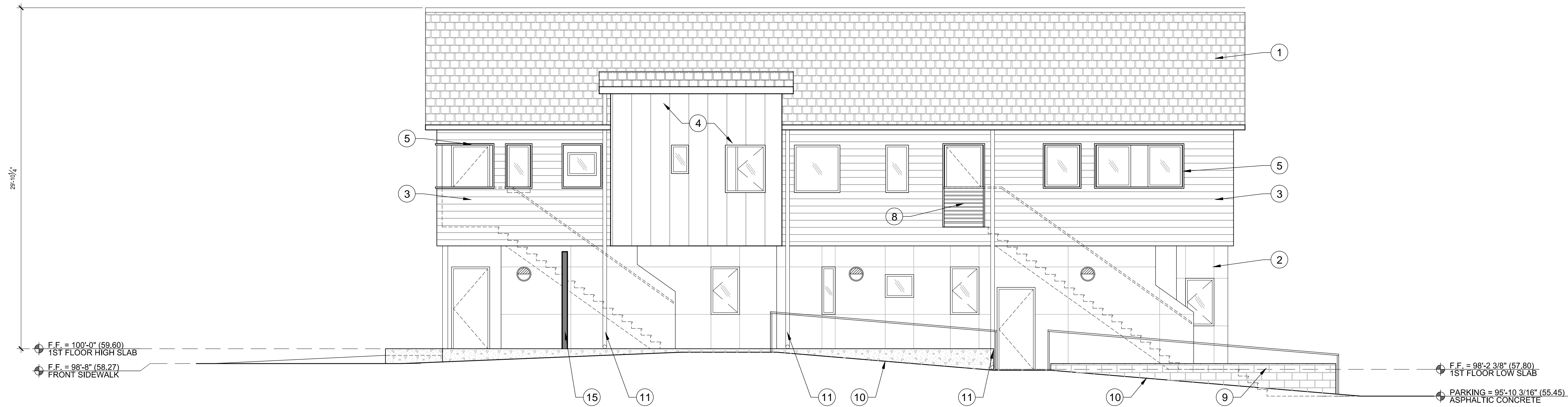
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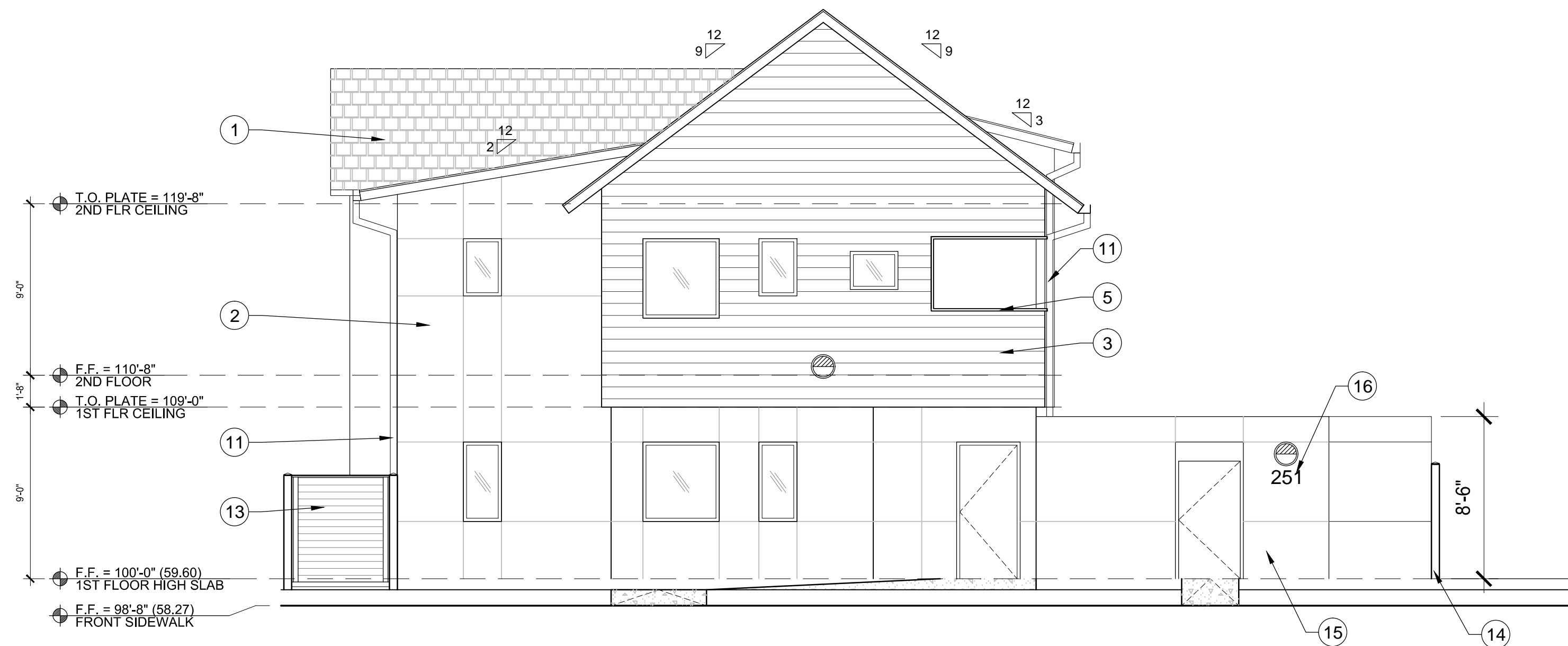
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A105
2ND FLOOR RCP



2 | EXTERIOR ELEVATION
SCALE : 3/16" = 1'-0"



1 | EXTERIOR ELEVATION
SCALE : 3/16" = 1'-0"

SHEET NOTES

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KEYNOTES

- SHINGLE ROOF
- STUCCO SIDING W/ CONTROL JOINTS
- HORIZONTAL WOOD SIDING ACCENT
- VERTICAL ACCENT SIDING
- OPENING IN EXTERIOR SURFACE W/ STEEL TRIM
- A.C. UNIT PER MEP
- 6'-0" HIGH TRECK FENCING TRASH ENCLOSURE
- STEEL RAILING
- RETAINING WALL PER CIVIL SITE PLAN
- ADA RAMP PER CIVIL SITE PLAN
- DOWNSPOUT
- UTILITY BOX PER MEP
- 6'-0" HIGH TRECK FENCING UTILITY SCREEN.
- 6'-0" HIGH TRECK FENCE ALONG PROPERTY LINE.
- 8'-6" HIGH STUCCO WING WALL AND GATE OVER FRONT ENTRY PATH PER CITY OF HENDERSON BUILDING FRONTAGE REQUIREMENTS.
- ILLUMINATED 14" HIGH BUILDING ADDRESS NUMBERS VISIBLE FROM THE STREET/ALLEY AND CONFORMING WITH THE REQUIREMENTS OF COH DEV CODE SECTION 19.9.15.

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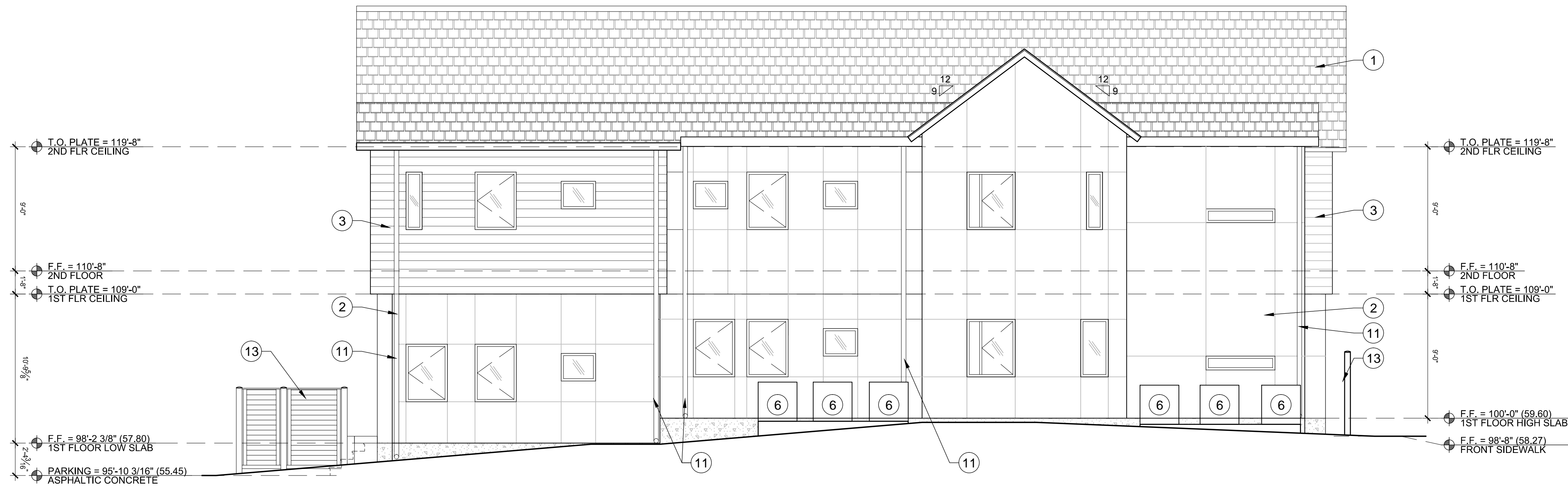
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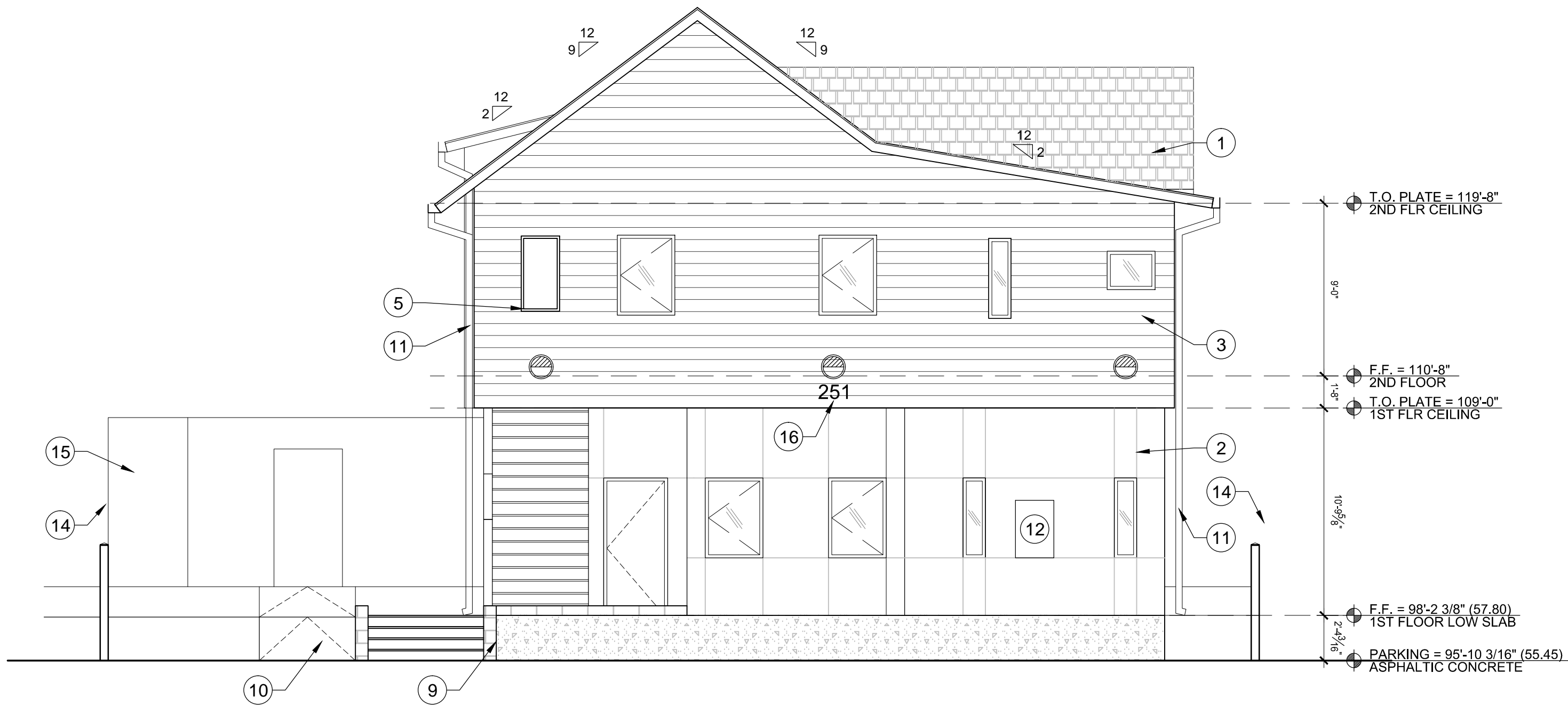
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|----------|------------|
| JOB NO.: | 201724-C |
| PHASE: | CD |
| DRAWN: | SD, LE, NC |
| CHECKED: | SD |
| DATE: | 03/20/2019 |

A201
EXTERIOR ELEVATIONS



2 | EXTERIOR ELEVATION
SCALE : 3/16" = 1'-0"



1 | EXTERIOR ELEVATION
SCALE : 3/16" = 1'-0"

SHEET NOTES

- DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- THIS DESIGN ASSUMES 6" WOOD STUDS AT BUILDING PERIMETER WITH R19 BATT INSULATION. "LINE OF STRUCTURE" REFERS TO OUTSIDE EDGE OF STRUCTURE/INSIDE FACE OF PERIMETER STUDS

KEYNOTES

- SHINGLE ROOF
- STUCCO SIDING W/ CONTROL JOINTS
- HORIZONTAL WOOD SIDING ACCENT
- VERTICAL ACCENT SIDING
- OPENING IN EXTERIOR SURFACE W/ STEEL TRIM
- A.C. UNIT PER MEP
- 6'-0" HIGH TRECK FENCING TRASH ENCLOSURE
- STEEL RAILING
- RETAINING WALL PER CIVIL SITE PLAN
- ADA RAMP PER CIVIL SITE PLAN
- DOWNSPOUT
- UTILITY BOX PER MEP
- 6'-0" HIGH TRECK FENCING UTILITY SCREEN.
- 6'-0" HIGH TREK FENCE ALONG PROPERTY LINE.
- 8'-6" HIGH STUCCO WING WALL AND GATE OVER FRONT ENTRY PATH PER CITY OF HENDERSON BUILDING FRONTAGE REQUIREMENTS.
- ILLUMINATED 14" HIGH BUILDING ADDRESS NUMBERS VISIBLE FROM THE STREET/ALLEY AND CONFORMING WITH THE REQUIREMENTS OF COH DEV CODE SECTION 19.9.15.

| NO. | DATE | DESCRIPTION | BY |
|----------|----------|----------------------------|----|
| 02-04-19 | 02-04-19 | CITY COMMENTS UPDATES | |
| 02-04-19 | 02-04-19 | OWNER REVISIONS | |
| 02-04-19 | 02-04-19 | FIRE COMMENT UPDATES | |
| 03-20-19 | 03-20-19 | FIRE RISER ROOM ASSEMBLIES | |
| 07-03-19 | 07-03-19 | RELEASE DATE | |



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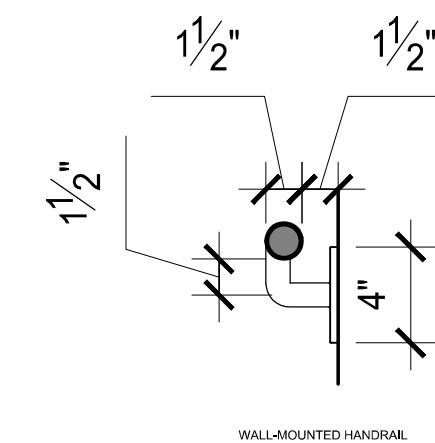
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| CHECKED: | SD |
| DATE: | 03/20/2019 |

A202
EXTERIOR ELEVATIONS



- | SECTION KEYNOTES | |
|------------------|--|
| ① | SIDEWALK/RAMP. SEE A100 |
| ② | 6'-0" TALL TREK FENCING/SCREENING. SEE A100 |
| ③ | WING WALL FRONTAGE EXTENSION WITH GATE. SEE A100 FOR LOCATION ON SITE. |
| ④ | FIRE RATED WALL. SEE A101 FOR TYPE AND A601 FOR ASSEMBLY. |
| ⑤ | TRIMMED OPENING IN WALL TO OPEN AIR STAIRWELL. |

- | SECTION LEGEND | |
|--|--------------|
|  | SECTION CUT |
|  | GROUND |
|  | ATTIC SPACE |
|  | ROOF SHINGLE |

- | SECTION SHEET NOTES | |
|---------------------|-----|
| 1. | XXX |
| 2. | XXX |

| REVIEWS | | NO. | DATE | DESCRIPTION | BY |
|---------|----------|-----|----------|----------------------------|----|
| 1 | 2/24/19 | 1 | 02/24/19 | CITY COMMENTS UPDATES | |
| 2 | 2/24/19 | 2 | 02/24/19 | OWNER REVISIONS | |
| 3 | 2/24/19 | 3 | 02/24/19 | FIRE COMMENT UPDATES | |
| 4 | 3/20/19 | 4 | 03/20/19 | FIRE RISER ROOM ASSEMBLIES | |
| | 07/03/19 | | 07/03/19 | RELEASE DATE | |



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| CHECKED: | SO |
| DATE: | 03/20/2019 |

A301

BUILDING SECTIONS

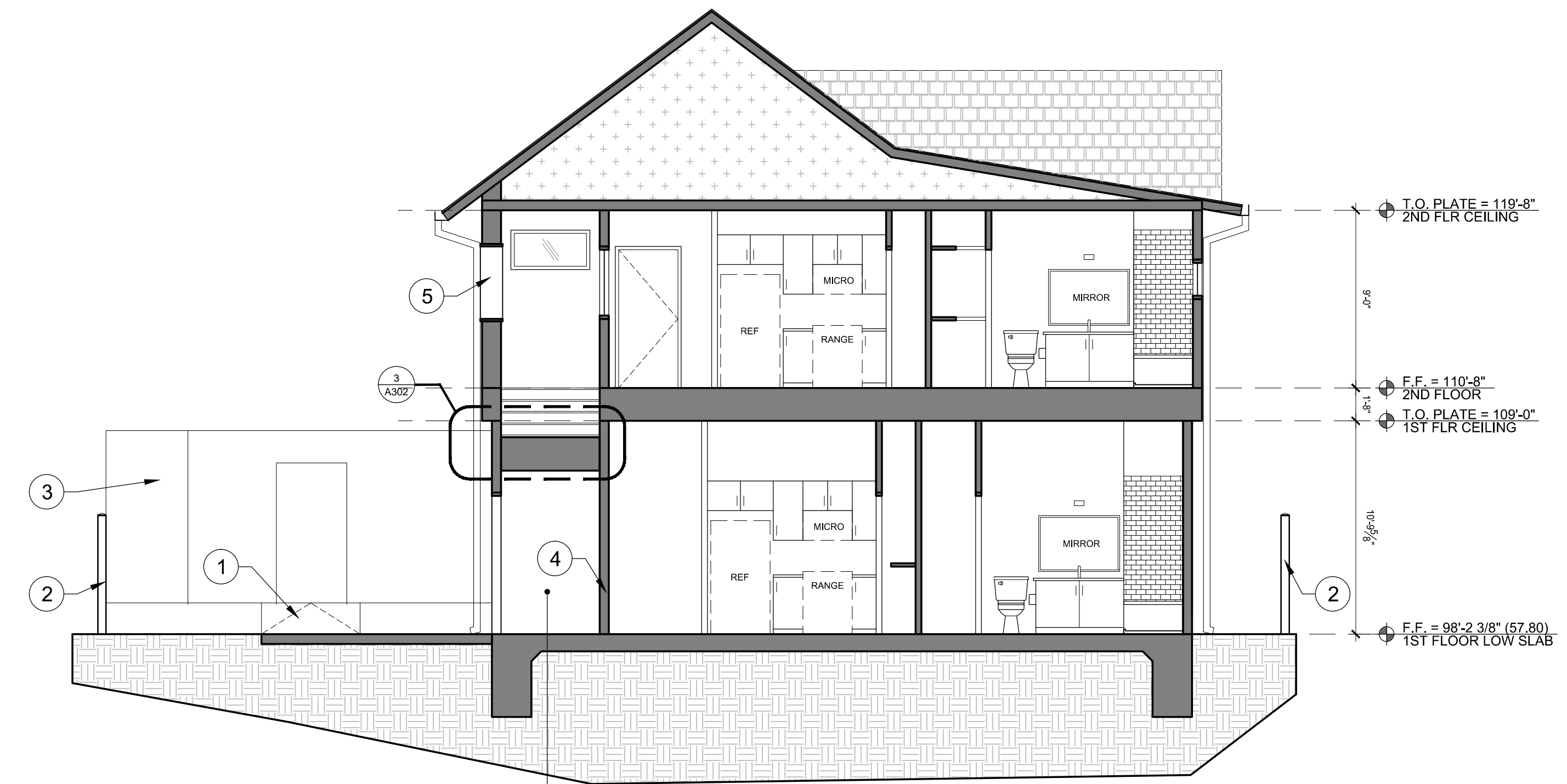
BUILDING SECTIONS



3 | BUILDING SECTION

SCALE : 3/16" = 1'-0"

SCALE : 3/16" = 1'-0"

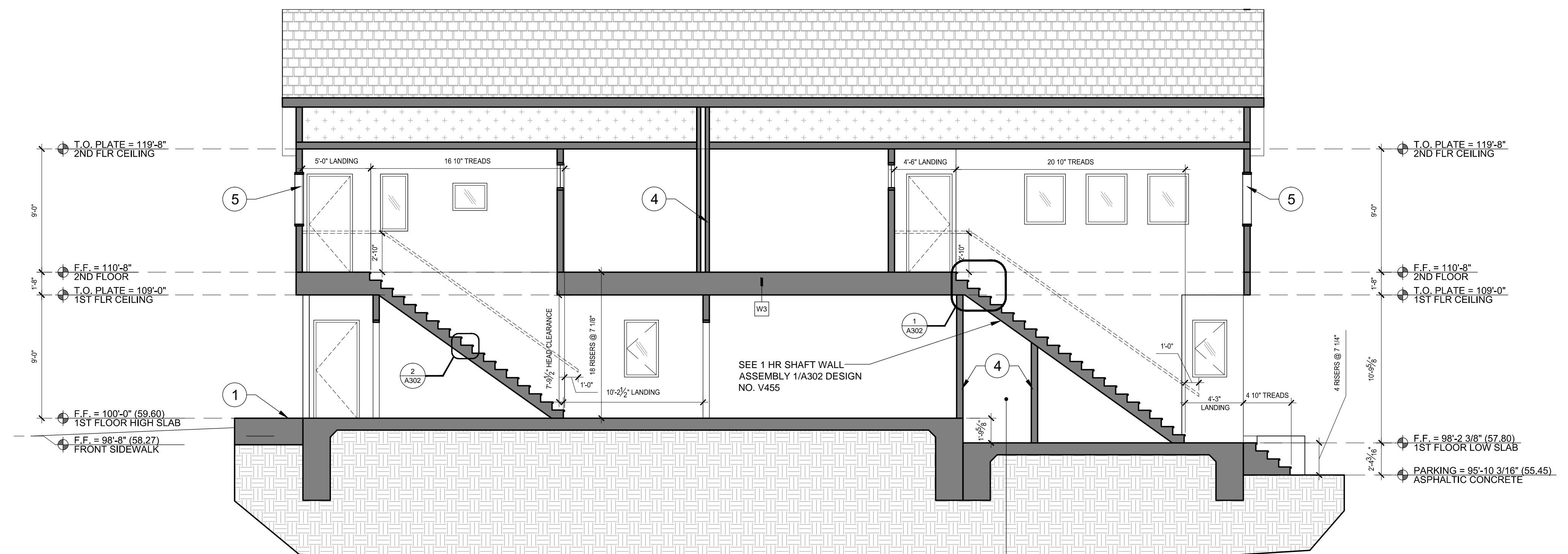


FIRE RISER
306

306

2 | BUILDING SECTION

SCALE : 3/16" = 1'-0"

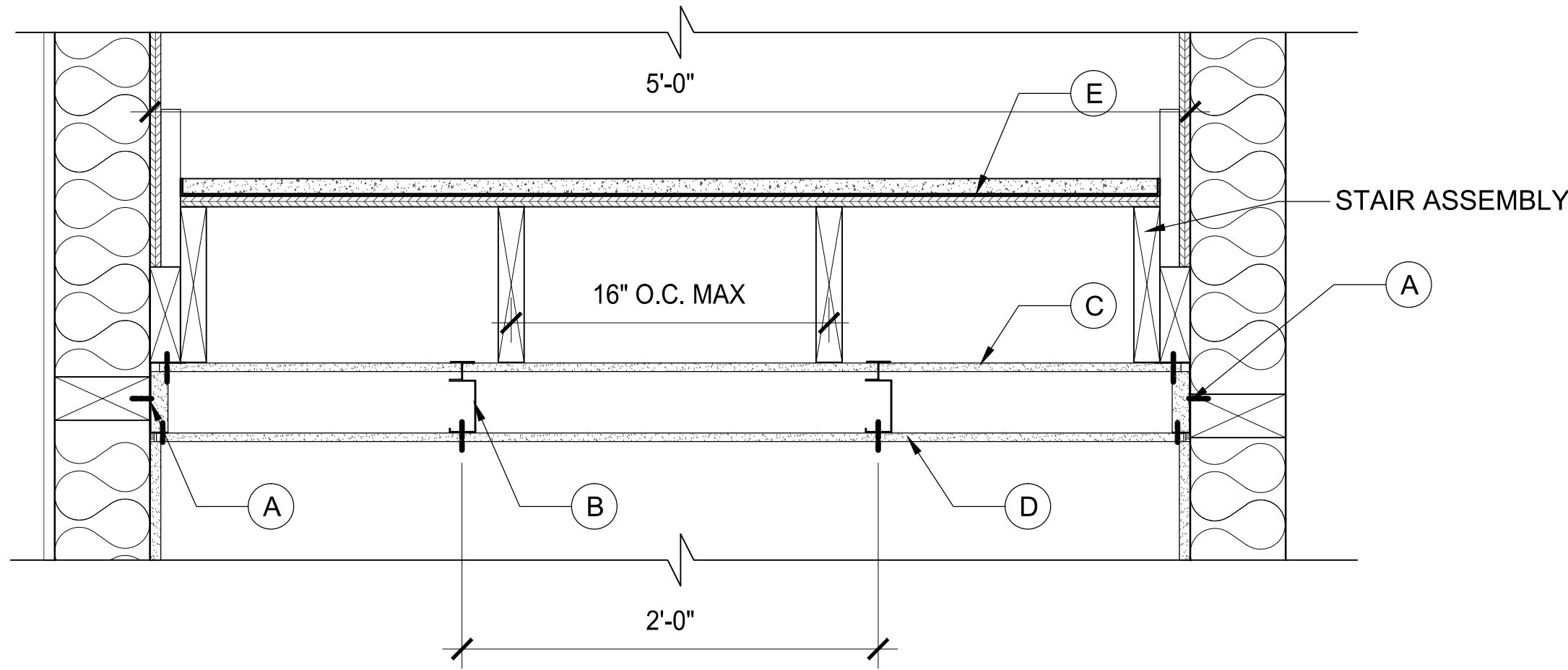


FIRE RISER
306

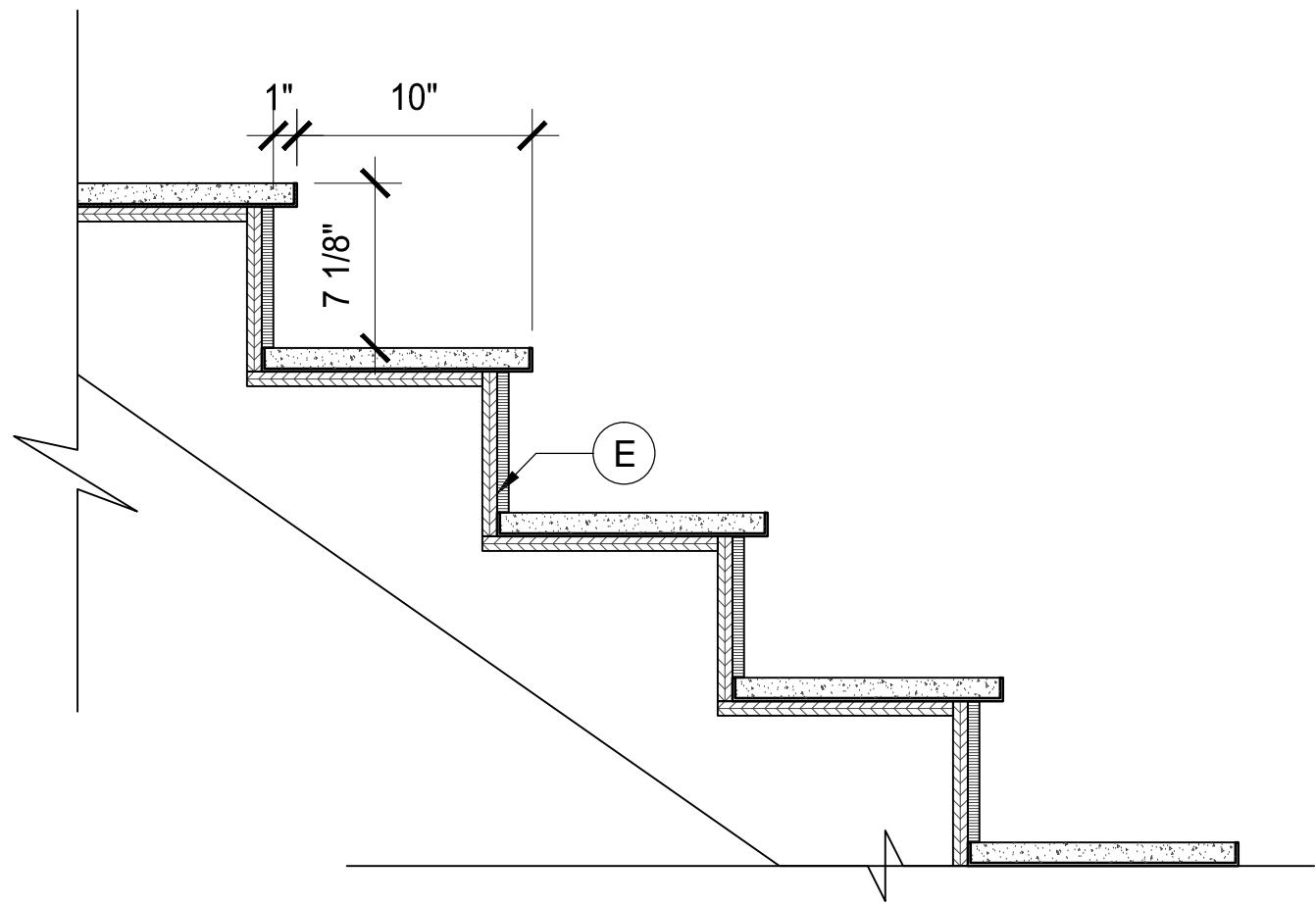
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1 | BUILDING SECTION
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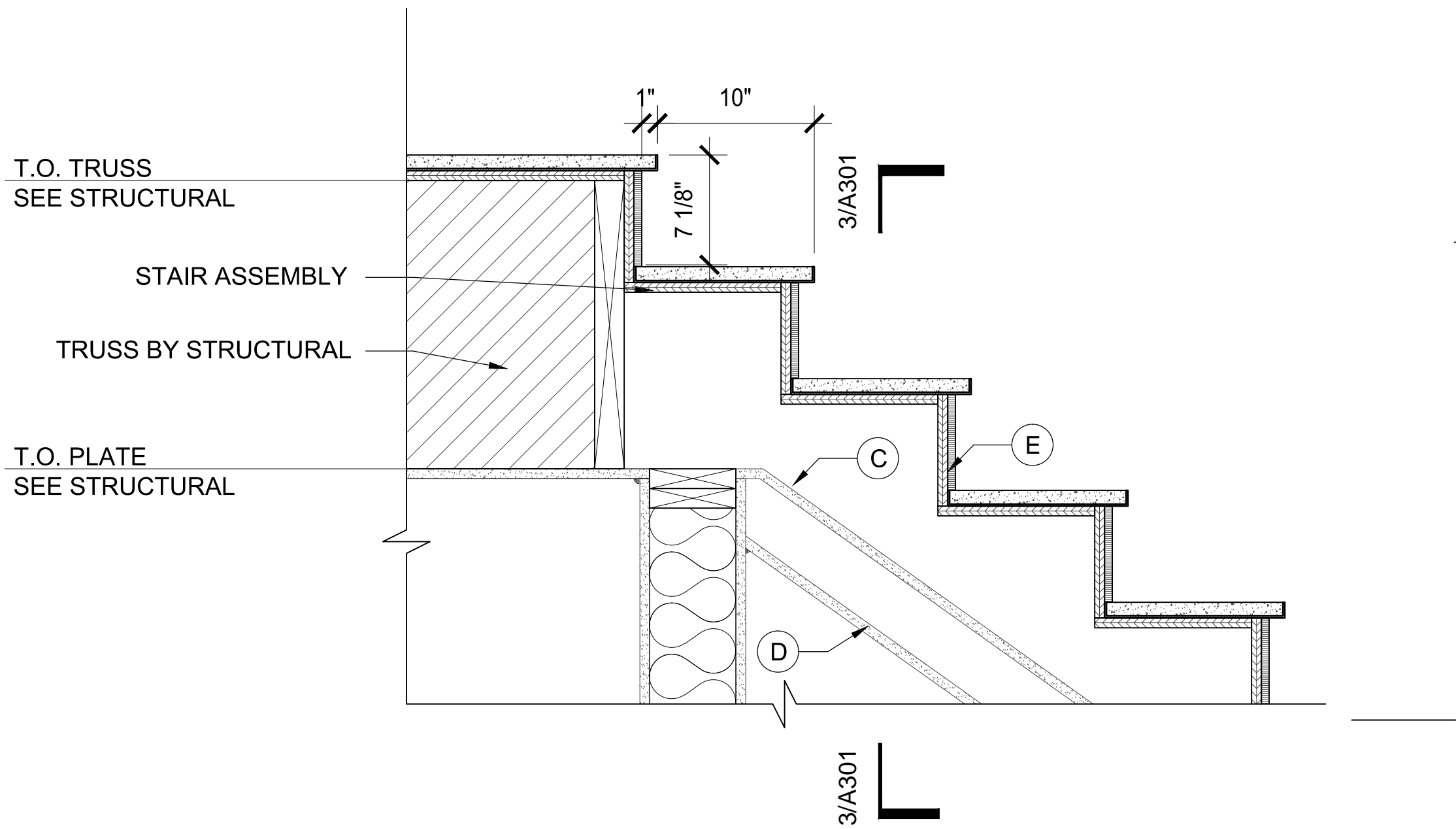
SCALE : 3/16" = 1'-0"



3 | BACK STAIR SECTION 1 HR FIRE ASSEMBLY DESIGN NO: V455
SCALE : 1 1/2" = 1'-0"



2 | FRONT STAIR DETAIL
SCALE : 1 1/2" = 1'-0"



1 | BACK STAIR DETAIL 1 HR FIRE ASSEMBLY DESIGN NO: V455
SCALE : 1-1/2" = 1'-0"

1 HR FIRE ASSEMBLY DESIGN No: V455

A. FLOOR, SIDE, AND CEILING RUNNERS - "J"-SHAPED RUNNER, MIN 2-1/2 IN. DEEP WITH UNEQUAL LEGS OF 1 IN. AND 2 IN. FABRICATED FROM MIN 25 MSG GALV. STEEL. RUNNERS POSITIONED WITH SHORT LEG TOWARD FINISHED SIDE OF WALL. RUNNERS ATTACHED TO STRUCTURAL SUPPORTS WITH STEEL FASTENERS LOCATED NOT GREATER THAN 2 IN. FROM ENDS AND NOT GREATER THAN 24 IN. OC.

B. FURRING CHANNELS - RESILIENT FURRING CHANNELS FABRICATED FROM MIN 25 MSG CORROSION PROTECTED STEEL, INSTALLED HORIZONTALLY, AND SPACED VERTICALLY A MAX 24 IN. OC. FLANGE PORTION OF CHANNEL ATTACHED TO EACH INTERSECTING "C-H" OR "E" STUD ON SIDE OF STUD OPPOSITE THE 1 IN. LINER PANELS WITH 3/8 IN. LONG TYPE S OR S-12 PAN-HEAD STEEL SCREWS.

C. GYPSUM BOARD - GYPSUM LINER PANEL, NOM. 1 IN. THICK 24 IN. WIDE. PANELS CUT MAX 1 IN. LESS IN LENGTH THAN FLOOR TO CEILING HEIGHT. VERTICAL EDGES INSERTED IN "T" SHAPED SECTION OF "C-H" STUDS. VERTICAL EDGES INSERTED IN "H" SHAPED SECTION OF "C-H" STUDS, OR HOLDING TABS OF "I" STUDS. FREE EDGE OF END PANELS ATTACHED TO LONG LEG OF "J" -RUNNERS WITH 1-5/8 IN. LONG TYPE "S" BUGLE HEAD STEEL SCREWS SPACES NOT GREATER THAN 12 IN. O.C.

AMERICAN GYPSUM CO - TYPE AG-S, M-GLASS

D. GYPSUM BOARD - GYPSUM PANELS, NOM 5/8 IN. THICK, 48 IN. WIDE, APPLIED VERTICALLY WITH EDGES CENTERED OVER STUDS, WITH 1 IN. LONG TYPE S BUGLE HEAD STEEL SCREWS SPACED 12 IN OC.

E. WATERPROOF MEMBRANE (CONTINUOUS OVER ENCLOSED)

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A302
STAIR DETAILS

| REVISIONS | | NO. | DATE | DESCRIPTION | BY |
|-----------|--|-----|----------|----------------------------|----|
| | | | | CITY COMMENTS UPDATES | |
| | | | 02-04-19 | OWNER REVISIONS | |
| | | | 02-04-19 | FIRE COMMENT UPDATES | |
| | | | 03-20-19 | FIRE RISER ROOM ASSEMBLIES | |
| | | | 07-03-19 | RELEASE DATE | |



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| JOB NO.: | 201724-C |
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| DRAWN: | SD, LE, NC |
| CHECKED: | SD |
| DATE: | 03/20/2019 |

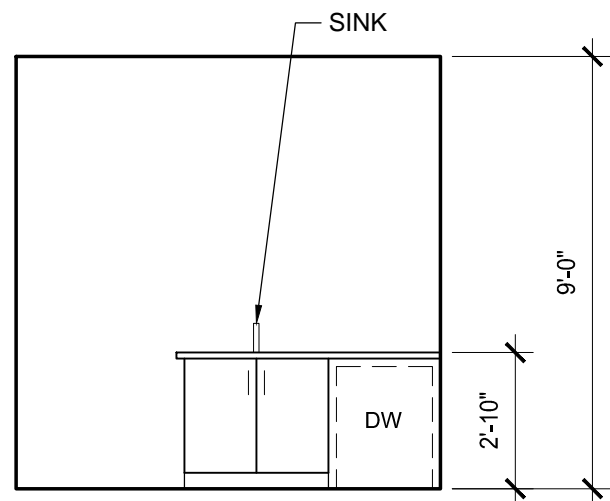
A501
INTERIOR ELEVATIONS

ACCESSIBILITY TOLERANCES:

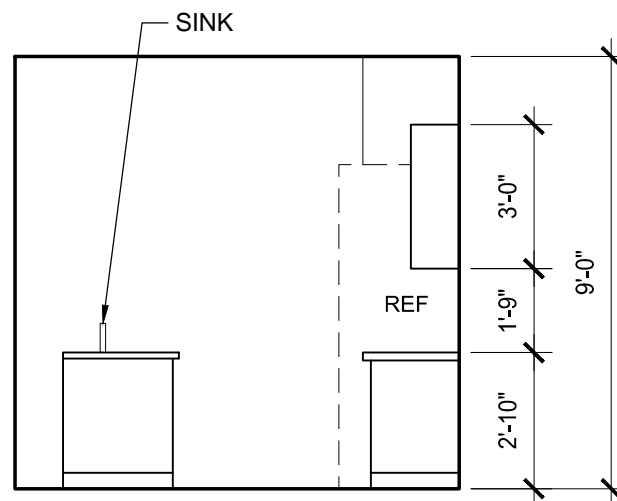
1. TOILET HEIGHT 17" - 19"
2. LOCATE TOILET PAPER DISPENSER BETWEEN 15" - 48" A.F.F. AND BETWEEN 7'-9" IN FRONT OF TOILET.
3. ALLOW MIN. 1 1/2" MIN. CLEARANCE BETWEEN GRAB BAR AND OTHER TOILET ACCESSORIES.
4. LOCATE OTHER TOILET ACCESSORIES SUCH THAT OPERABLE PORTIONS ARE BETWEEN 15" AND 48" A.F.F.
5. WRAP EXPOSED WASTE PIPE AT LAVATORIES.

SHEET NOTES

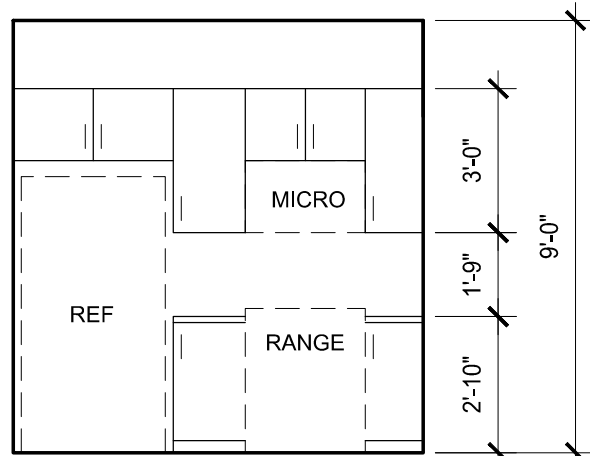
1. FOOD SERVICE EQUIPMENT TO BE PROVIDED AND INSTALLED BY OWNER U.N.O.
2. COORDINATE WITH OWNER FOR EXACT LOCATIONS OF WATER CONNECTIONS REQUIRED BY EQUIPMENT AND APPLIANCES.
3. PROVIDE FLOOR SINK AT ICE MACHINE AS REQUIRED - VERIFY WITH OWNER.
4. PROVIDE WATER RESISTANT GYP. BOARD WITHIN 4' OF PLUMBING FIXTURE U.N.O.
5. SEE REFLECTED CEILING PLAN FOR POWER, DATA AND LIGHTING LOCATIONS.



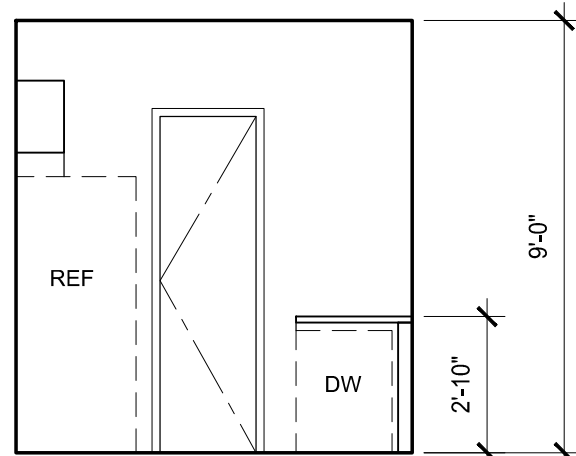
16|UNIT 2 KITCHEN
SCALE : 1/4" = 1'-0"



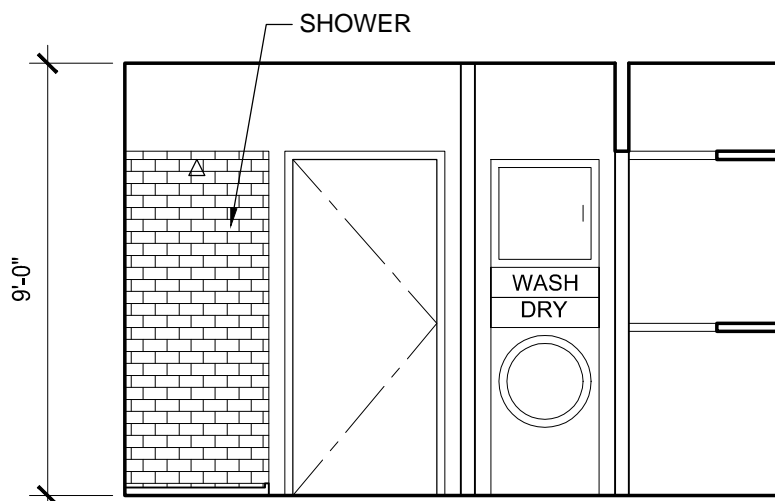
15|UNIT 2 KITCHEN
SCALE : 1/4" = 1'-0"



14|UNIT 2 KITCHEN
SCALE : 1/4" = 1'-0"



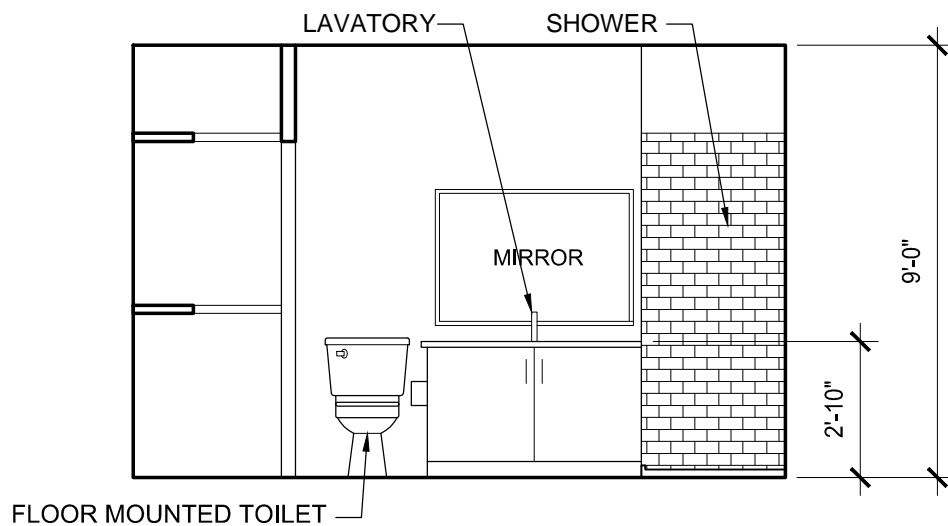
13|UNIT 2 KITCHEN
SCALE : 1/4" = 1'-0"



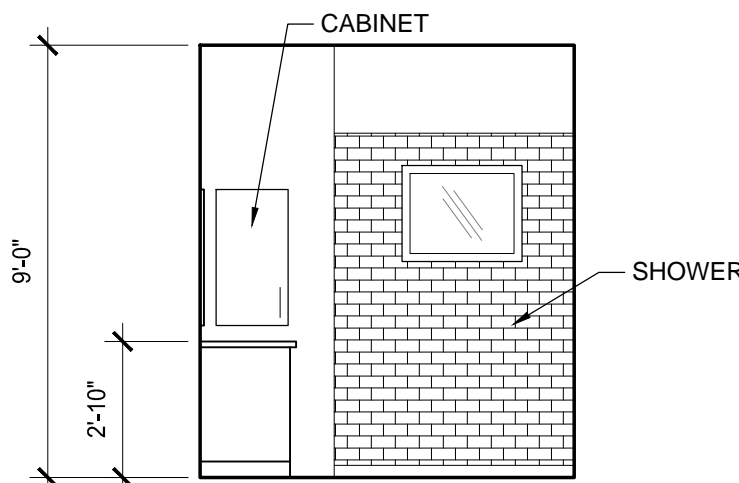
12|UNIT 2 RESTROOM
SCALE : 1/4" = 1'-0"



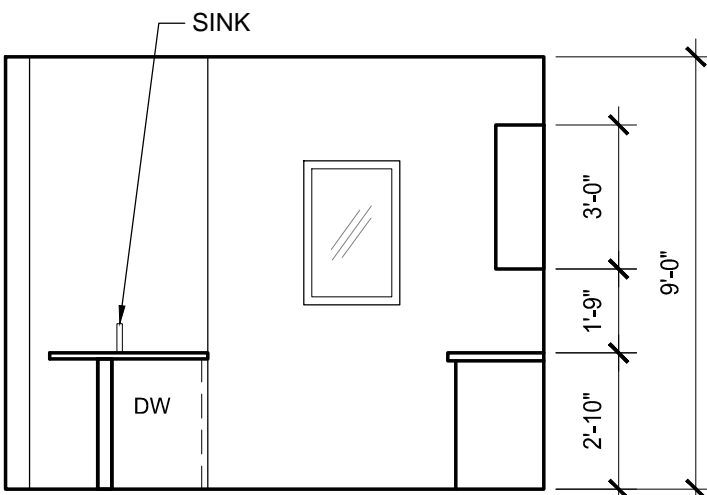
11|UNIT 2 RESTROOM
SCALE : 1/4" = 1'-0"



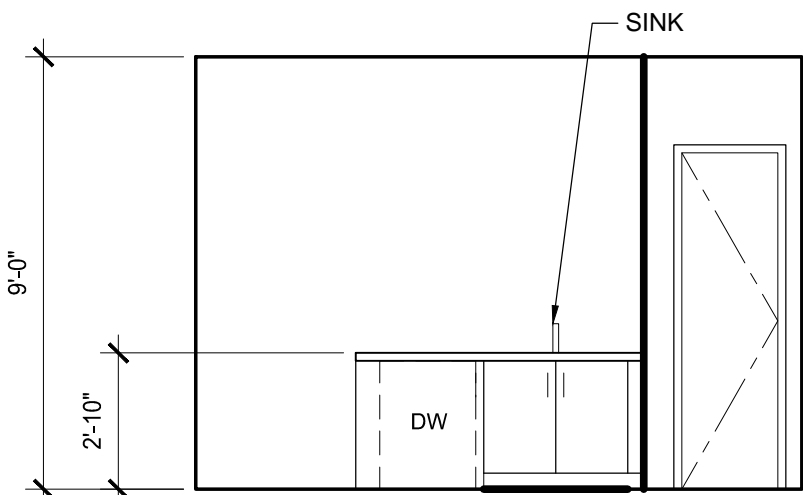
10|UNIT 2 RESTROOM
SCALE : 1/4" = 1'-0"



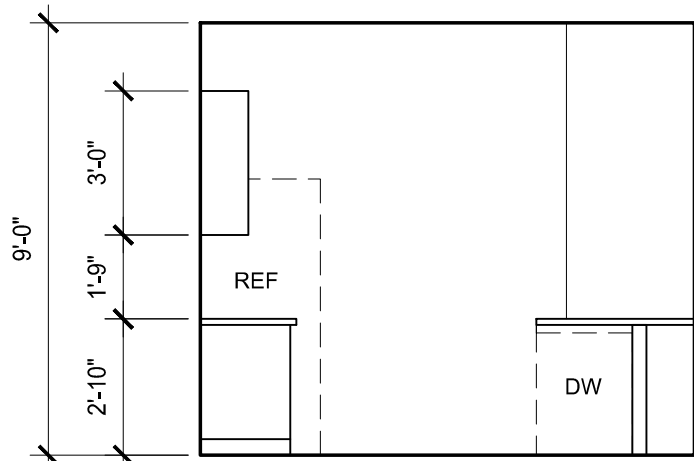
9|UNIT 2 RESTROOM
SCALE : 1/4" = 1'-0"



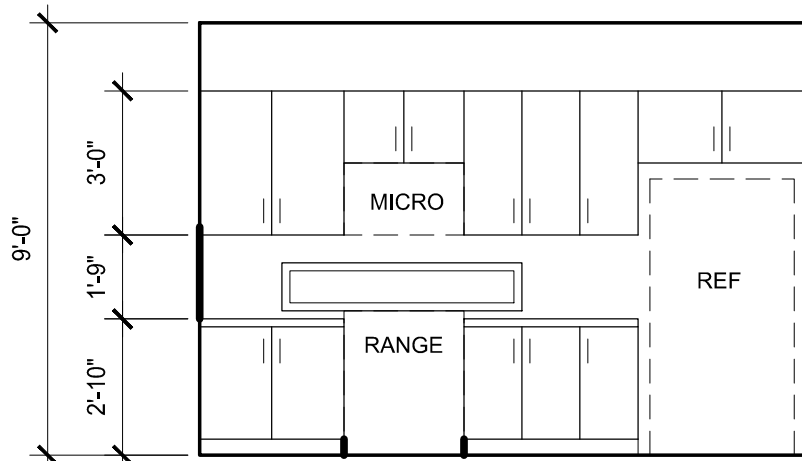
8|UNIT 1 KITCHEN
SCALE : 1/4" = 1'-0"



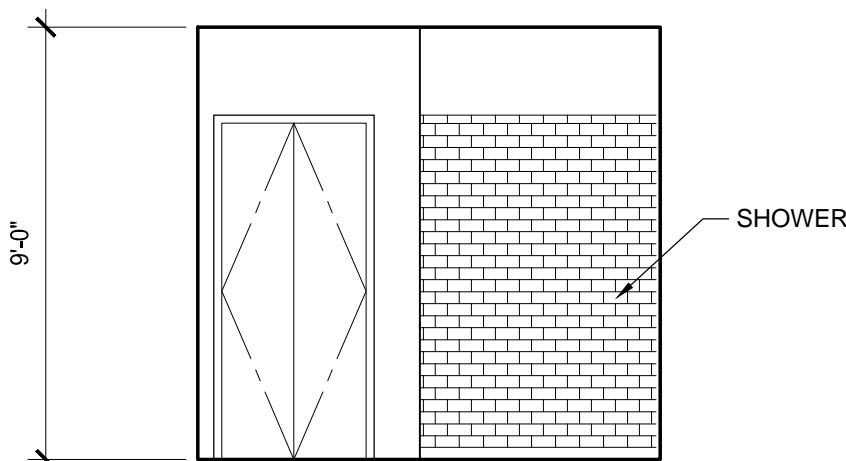
7|UNIT 1 KITCHEN
SCALE : 1/4" = 1'-0"



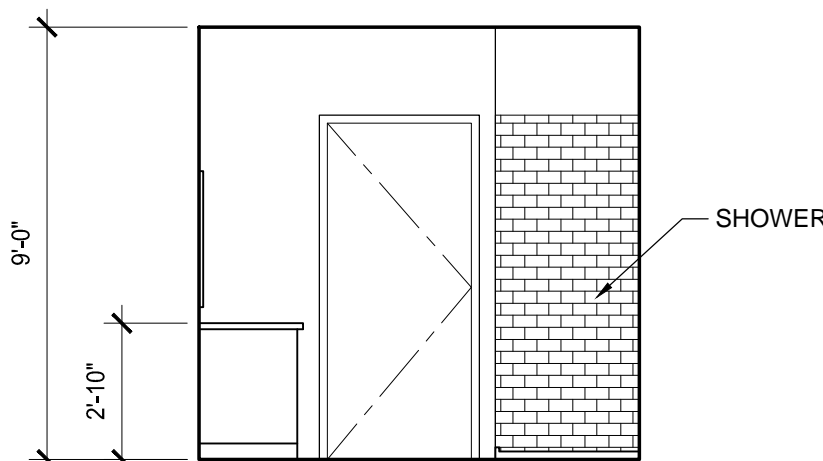
6|UNIT 1 KITCHEN
SCALE : 1/4" = 1'-0"



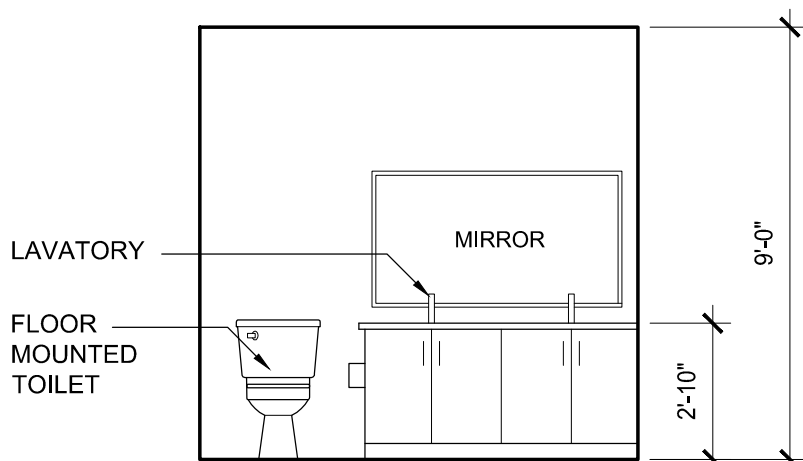
5|UNIT 1 KITCHEN
SCALE : 1/4" = 1'-0"



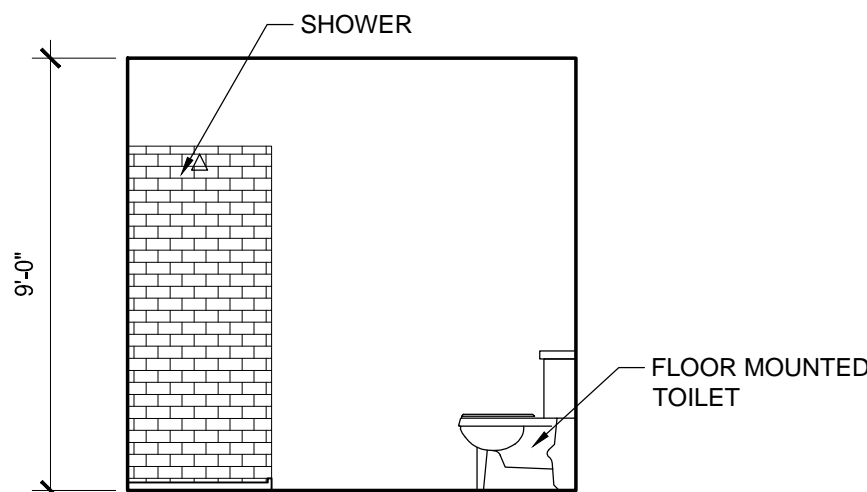
4|UNIT 1 RESTROOM
SCALE : 1/4" = 1'-0"



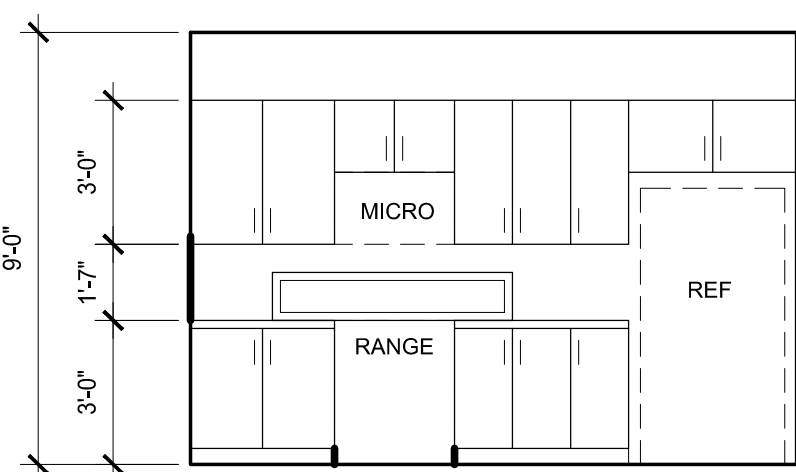
3|UNIT 1 RESTROOM
SCALE : 1/4" = 1'-0"



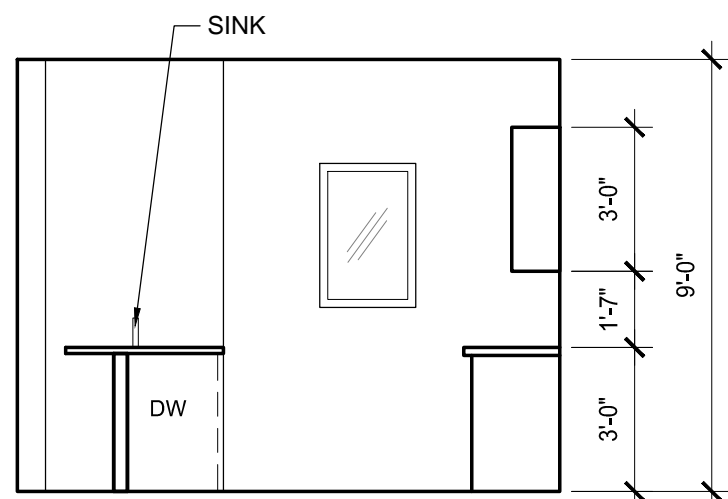
2|UNIT 1 RESTROOM
SCALE : 1/4" = 1'-0"



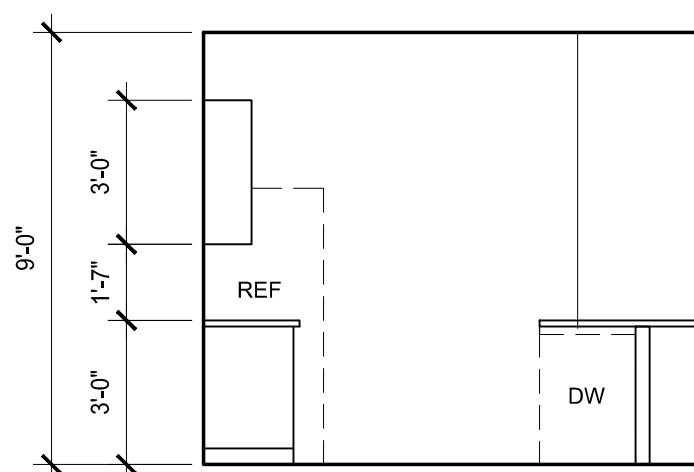
1|UNIT 1 RESTROOM
SCALE : 1/4" = 1'-0"



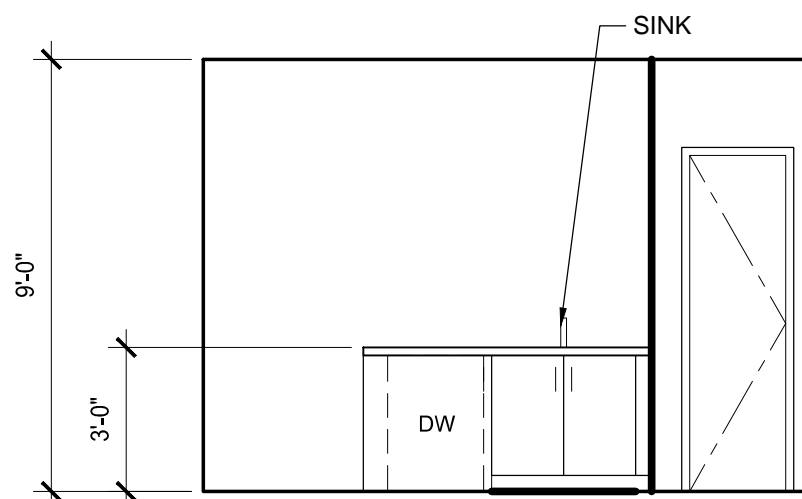
16|UNIT 4 KITCHEN
SCALE : 1/4" = 1'-0"



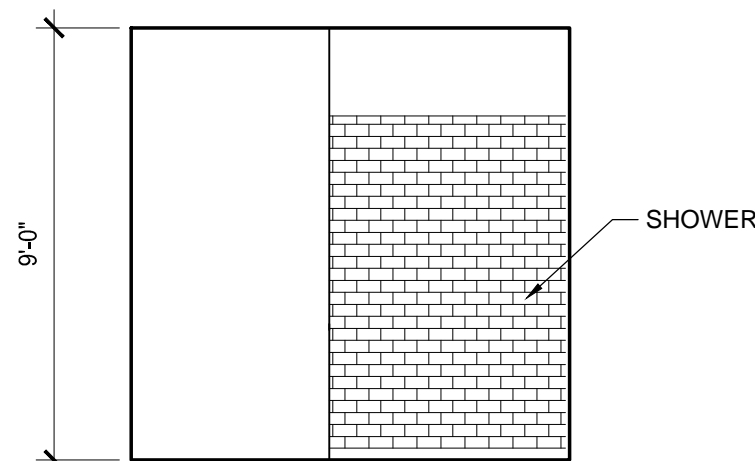
15|UNIT 4 KITCHEN
SCALE : 1/4" = 1'-0"



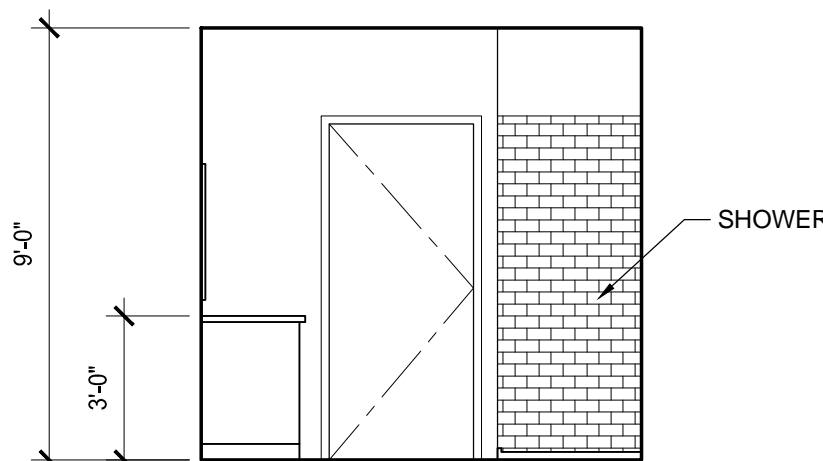
14|UNIT 4 KITCHEN
SCALE : 1/4" = 1'-0"



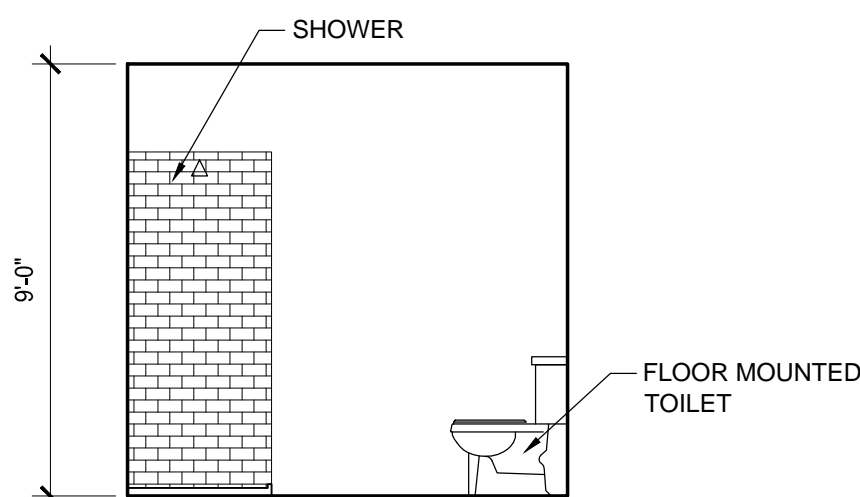
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SCALE : 1/4" = 1'-0"



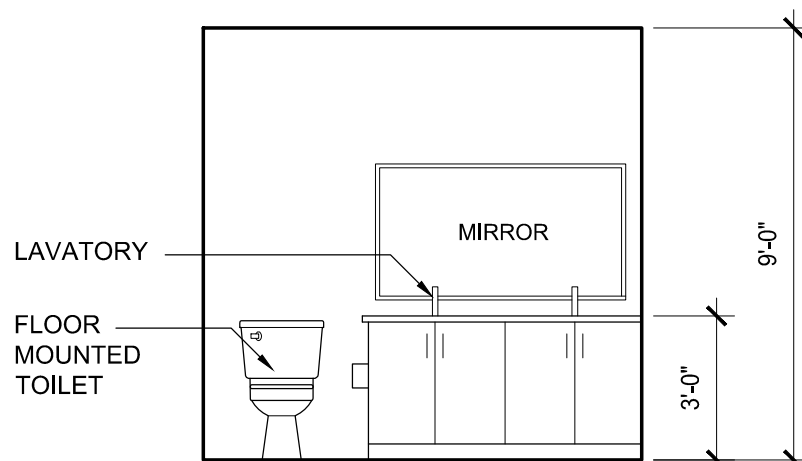
12|UNIT 4 RESTROOM
SCALE : 1/4" = 1'-0"



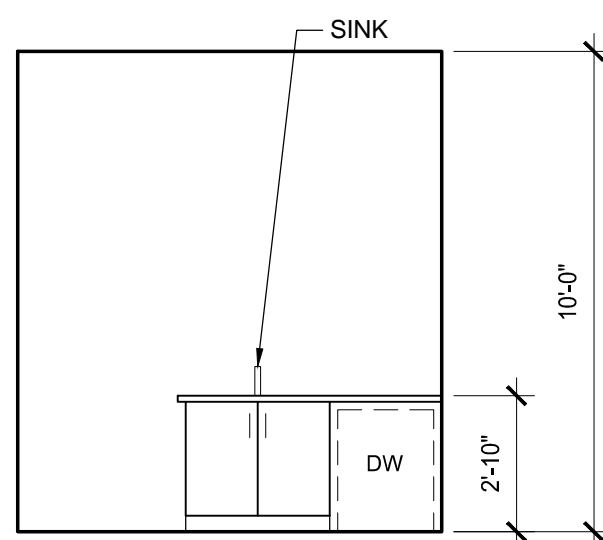
11|UNIT 4 RESTROOM
SCALE : 1/4" = 1'-0"



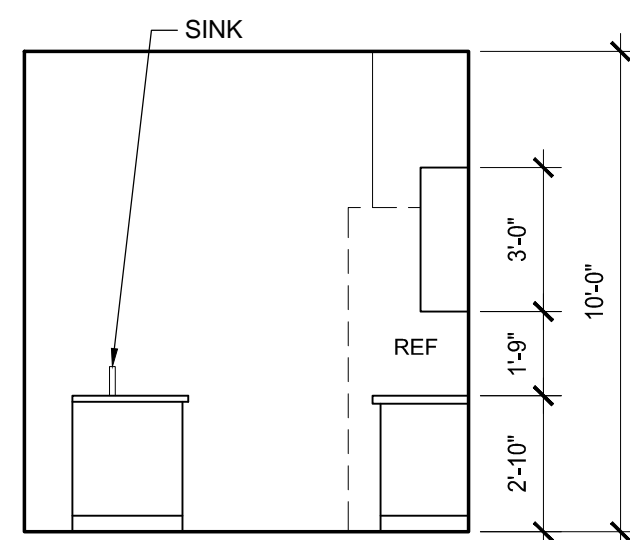
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SCALE : 1/4" = 1'-0"



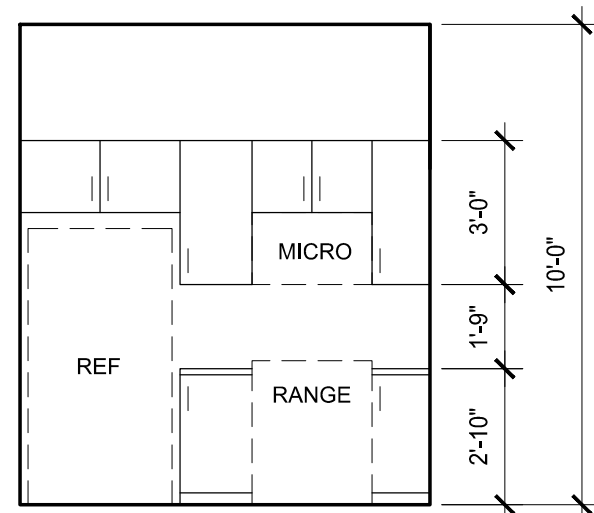
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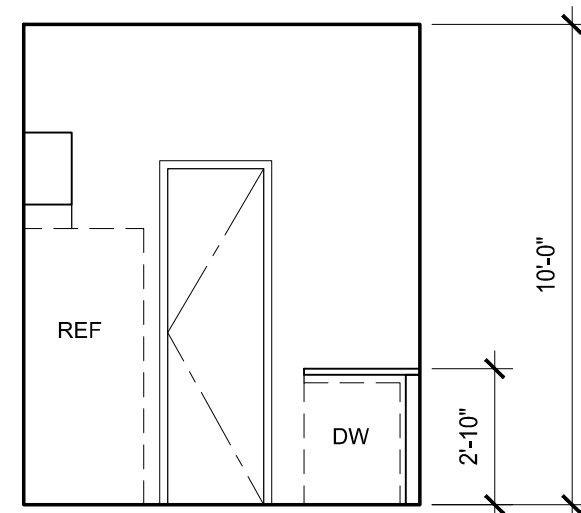
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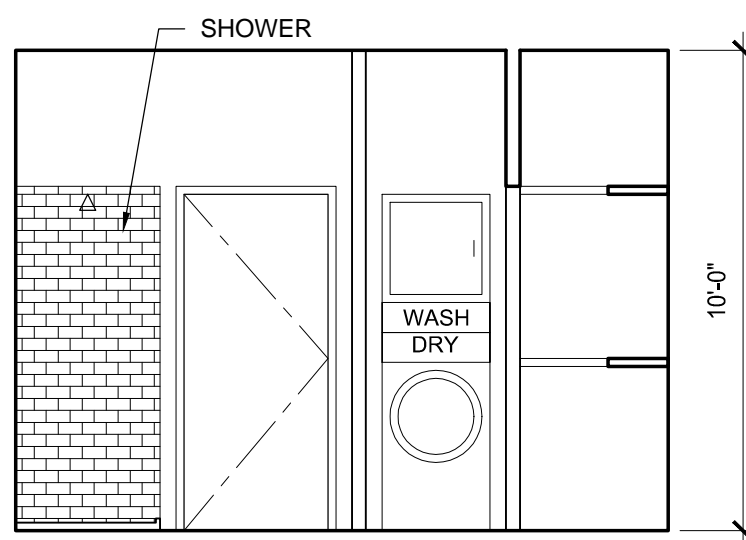
7|UNIT 3 KITCHEN
SCALE : 1/4" = 1'-0"



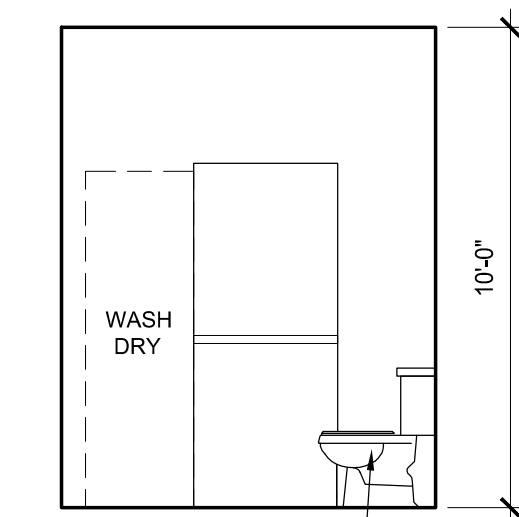
6|UNIT 3 KITCHEN
SCALE : 1/4" = 1'-0"



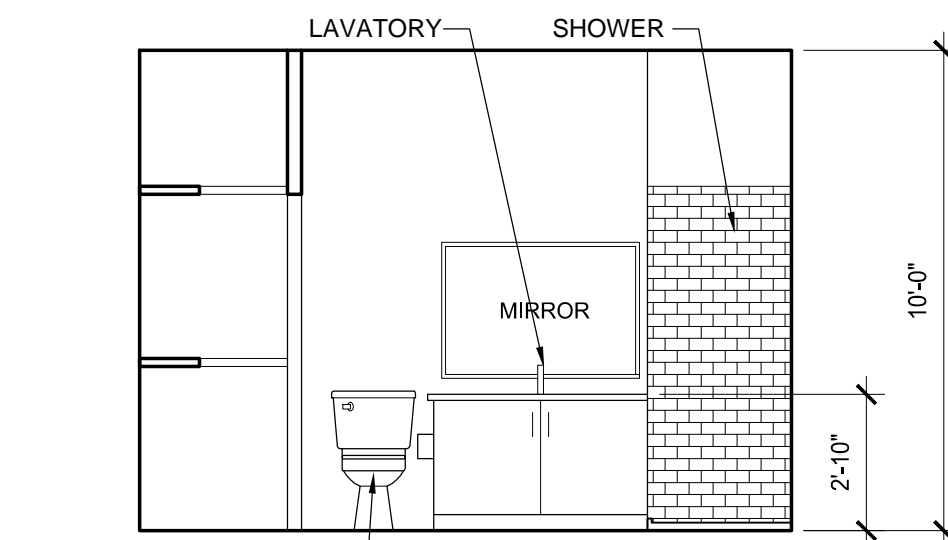
5|UNIT 3 KITCHEN
SCALE : 1/4" = 1'-0"



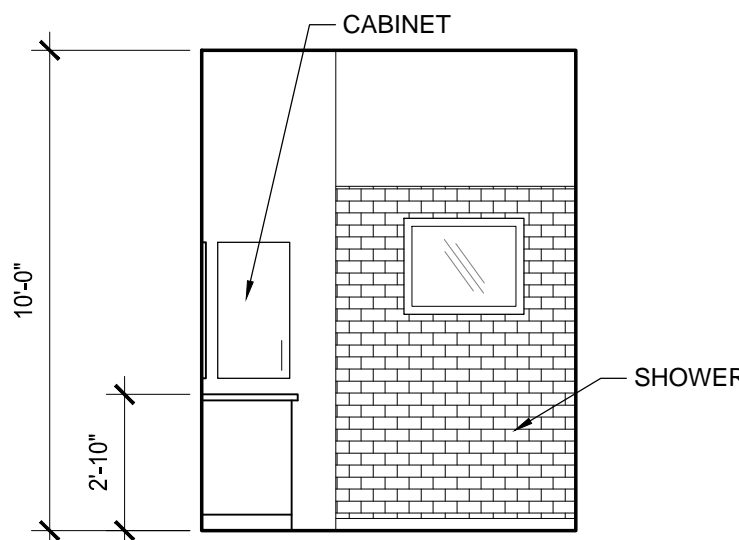
4|UNIT 3 RESTROOM
SCALE : 1/4" = 1'-0"



3|UNIT 3 RESTROOM
SCALE : 1/4" = 1'-0"



2|UNIT 3 RESTROOM
SCALE : 1/4" = 1'-0"



1|UNIT 3 RESTROOM
SCALE : 1/4" = 1'-0"

ACCESSIBILITY TOLERANCES:

1. TOILET HEIGHT 17" - 19"
2. LOCATE TOILET PAPER DISPENSER BETWEEN 15" - 48" A.F.F. AND BETWEEN 7'-9" IN FRONT OF TOILET.
3. ALLOW MIN. 1 1/2" MIN. CLEARANCE BETWEEN GRAB BAR AND OTHER TOILET ACCESSORIES.
4. LOCATE OTHER TOILET ACCESSORIES SUCH THAT OPERABLE PORTIONS ARE BETWEEN 15" AND 48" A.F.F.
5. WRAP EXPOSED WASTE PIPE AT LAVATORIES.

SHEET NOTES

1. FOOD SERVICE EQUIPMENT TO BE PROVIDED AND INSTALLED BY OWNER U.N.O.
2. COORDINATE WITH OWNER FOR EXACT LOCATIONS OF WATER CONNECTIONS REQUIRED BY EQUIPMENT AND APPLIANCES.
3. PROVIDE FLOOR SINK AT ICE MACHINE AS REQUIRED - VERIFY WITH OWNER.
4. PROVIDE WATER RESISTANT GYP. BOARD WITHIN 4' OF PLUMBING FIXTURE U.N.O.
5. SEE REFLECTED CEILING PLAN FOR POWER, DATA AND LIGHTING LOCATIONS.

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| DATE: | 03/20/2019 |

A502
INTERIOR ELEVATIONS

- ACCESSIBILITY TOLERANCES:
1. TOILET HEIGHT 17" - 19"
 2. LOCATE TOILET PAPER DISPENSER BETWEEN 15" - 48" A.F.F. AND BETWEEN 7'-9" IN FRONT OF TOILET.
 3. ALLOW MIN. 1 1/2" MIN. CLEARANCE BETWEEN GRAB BAR AND OTHER TOILET ACCESSORIES.
 4. LOCATE OTHER TOILET ACCESSORIES SUCH THAT OPERABLE PORTIONS ARE BETWEEN 15" AND 48" A.F.F.
 5. WRAP EXPOSED WASTE PIPE AT LAVATORIES.

- SHEET NOTES
1. FOOD SERVICE EQUIPMENT TO BE PROVIDED AND INSTALLED BY OWNER U.N.O.
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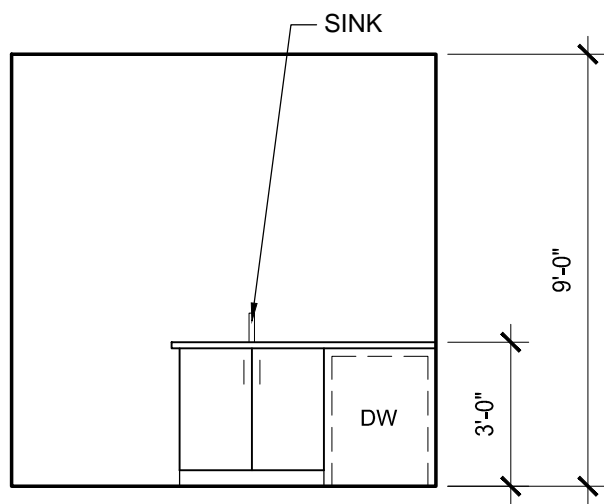
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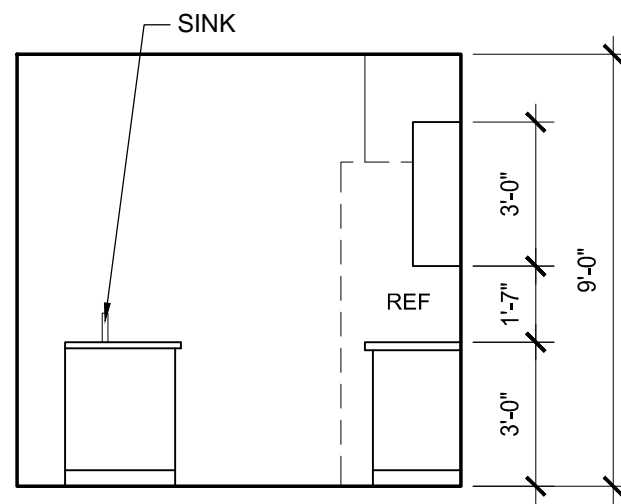
PRICING
SET

| | |
|----------|------------|
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| PHASE: | CD |
| DRAWN: | SD, LE, NC |
| CHECKED: | SD |
| DATE: | 03/20/2019 |

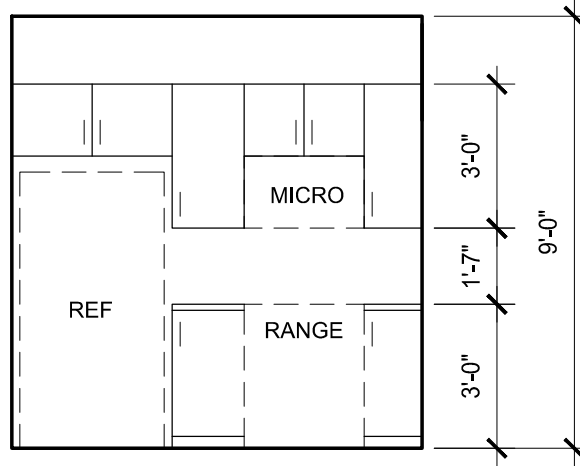
A503
INTERIOR ELEVATIONS



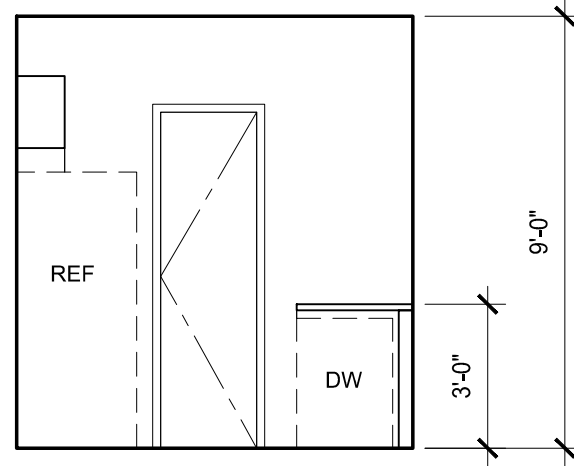
16UNIT 6 KITCHEN
SCALE : 1/4" = 1'-0"



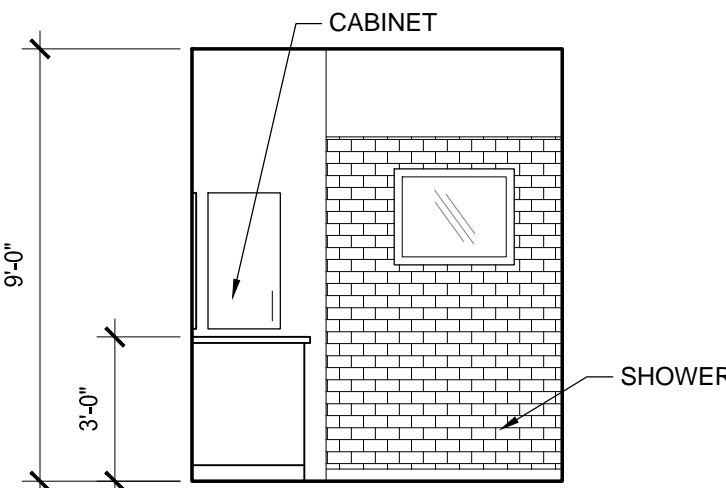
15UNIT 6 KITCHEN
SCALE : 1/4" = 1'-0"



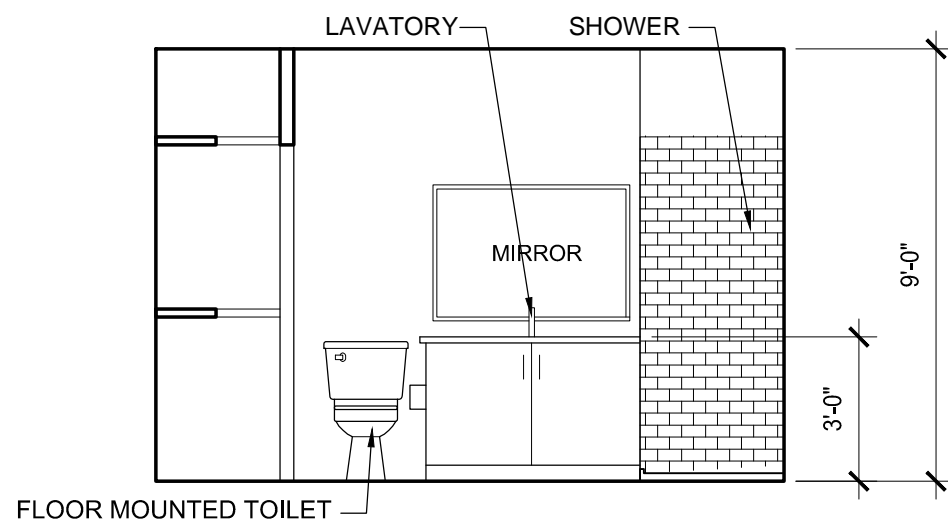
14UNIT 6 KITCHEN
SCALE : 1/4" = 1'-0"



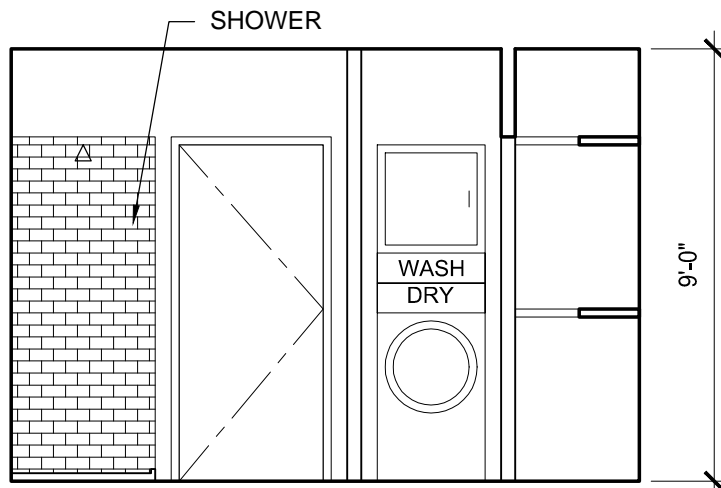
13UNIT 6 KITCHEN
SCALE : 1/4" = 1'-0"



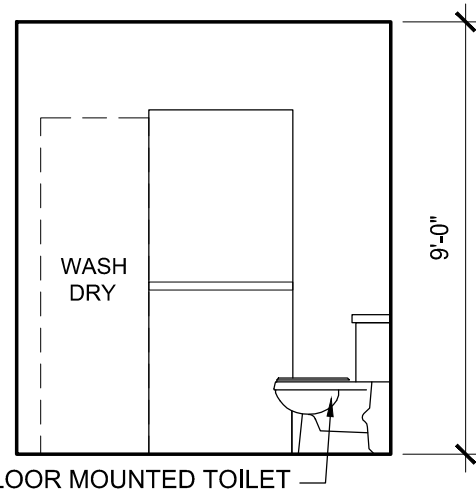
12UNIT 6 RESTROOM
SCALE : 1/4" = 1'-0"



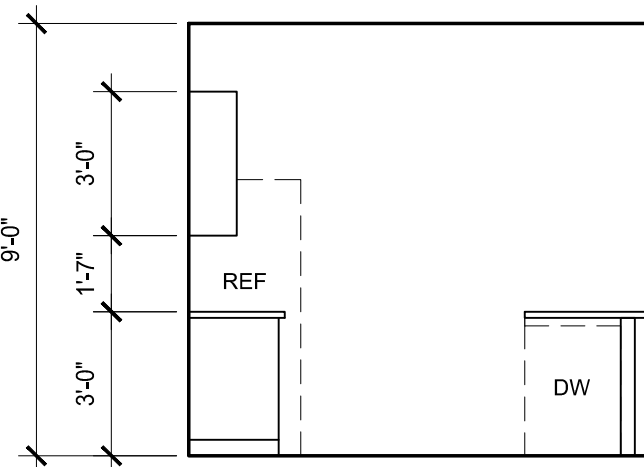
11UNIT 6 RESTROOM
SCALE : 1/4" = 1'-0"



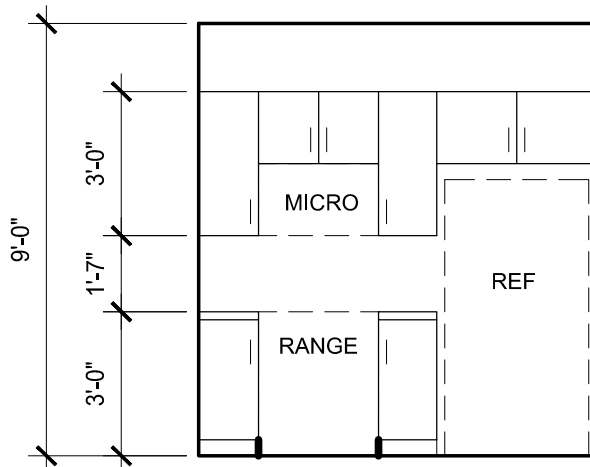
10UNIT 6 RESTROOM
SCALE : 1/4" = 1'-0"



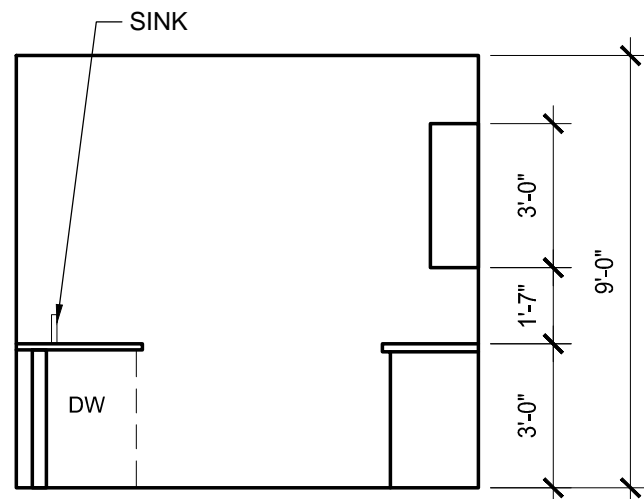
9UNIT 6 RESTROOM
SCALE : 1/4" = 1'-0"



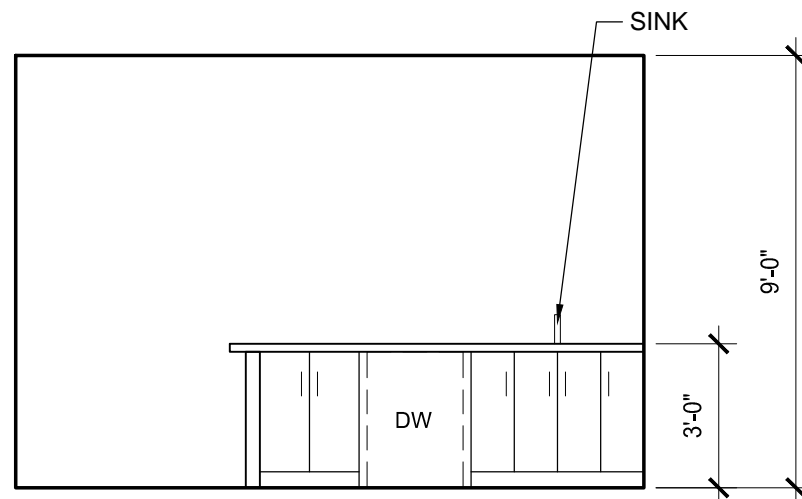
8UNIT 5 KITCHEN
SCALE : 1/4" = 1'-0"



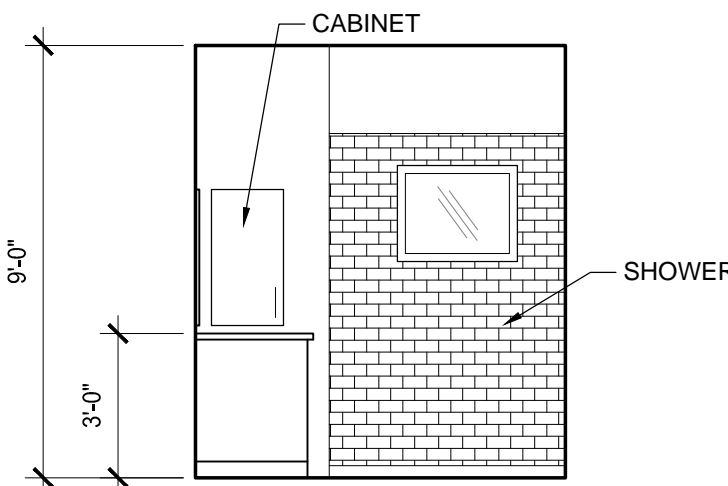
7UNIT 5 KITCHEN
SCALE : 1/4" = 1'-0"



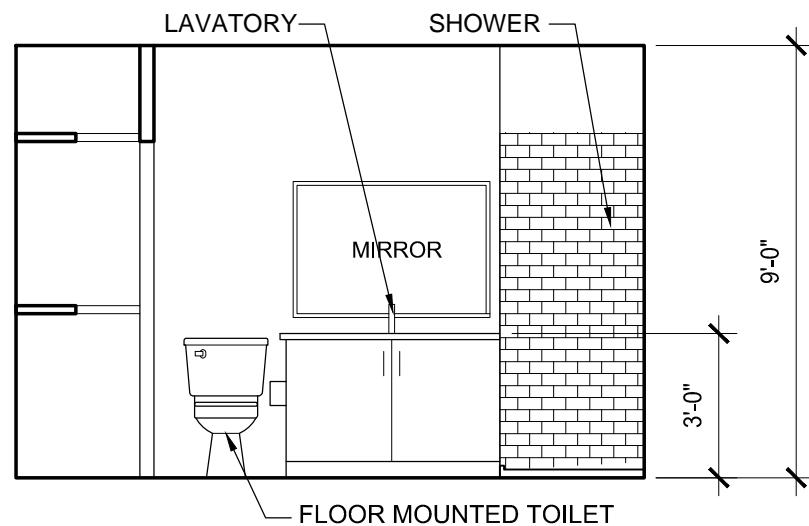
6UNIT 5 KITCHEN
SCALE : 1/4" = 1'-0"



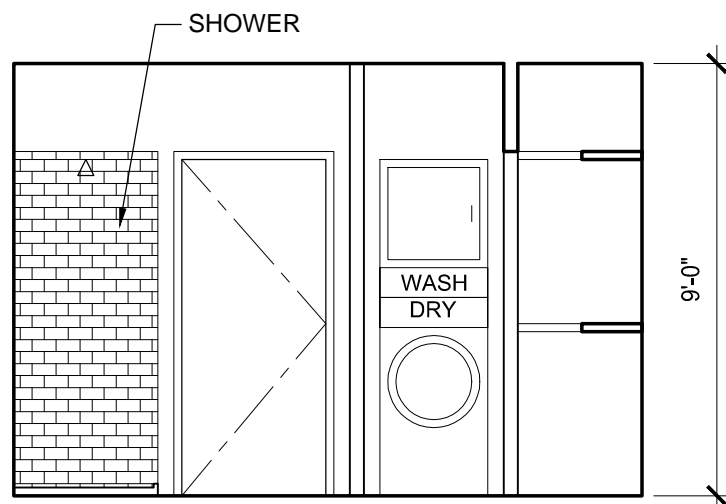
5UNIT 5 KITCHEN
SCALE : 1/4" = 1'-0"



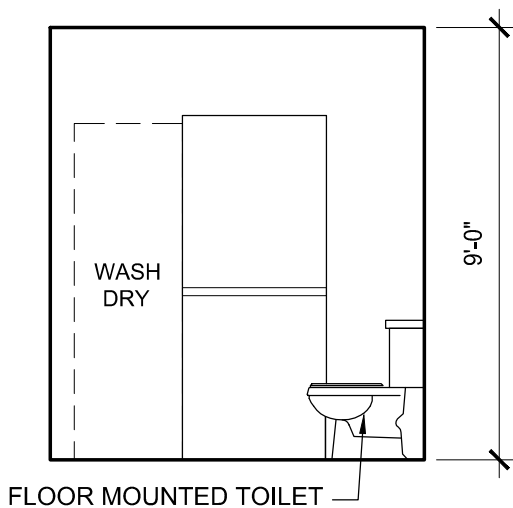
4UNIT 5 RESTROOM
SCALE : 1/4" = 1'-0"



3UNIT 5 RESTROOM
SCALE : 1/4" = 1'-0"



2UNIT 5 RESTROOM
SCALE : 1/4" = 1'-0"



1UNIT 5 RESTROOM
SCALE : 1/4" = 1'-0"

