

GENERAL

1. ALL GRADING SHALL CONFORM TO THE 2019 CALIFORNIA BUILDING CODE (CBC) CHAPTERS 17, 18 & APPENDIX-J AS AMENDED BY ORDINANCE 457.
2. ALL PROPERTY CORNERS, GRADING BOUNDARIES AND ALL CONSERVATION AREAS/LEAST SENSITIVE AREA (LSA) DETERMINED BY THE ENVIRONMENTAL PROGRAMS DEPARTMENT (EPD) SHALL BE CLEARLY DELINEATED AND STAKED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
3. ALL WORK UNDER THIS PERMIT SHALL BE LIMITED TO WORK WITHIN THE PROPERTY LINES. ALL WORK WITHIN THE ROAD RIGHT-OF-WAY WILL REQUIRE SEPARATE PLANS AND A SEPARATE REVIEW-APPROVAL (PERMIT) FROM THE TRANSPORTATION DEPARTMENT.
4. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A SOILS ENGINEER IN CONFORMANCE WITH THE RECOMMENDATIONS OF THE PRELIMINARY SOILS INVESTIGATION PREPARED BY ARCH ENGINEERING, INC. DATED MAY 19, 2021.
5. COMPACTED FILL TO SUPPORT ANY STRUCTURES SHALL COMPLY WITH SECTION 1803.5.8. PROJECTS WITHOUT A PRELIMINARY SOILS REPORT SHALL INCLUDE DETAILED SPECIFICATIONS IN ACCORDANCE WITH SECTION 1803.2 AND 1803.5 PREPARED BY THE ENGINEER OF RECORD.
6. THE CONTRACTOR SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST 24 HOURS IN ADVANCE TO REQUEST FINISH LOT GRADE AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION FOR EACH LOT.
7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, TWO DAYS BEFORE DIGGING AT 1-800-422-4133.
8. PRIOR TO GRADING, A MEETING SHALL BE SCHEDULED WITH A RIVERSIDE COUNTY ENVIRONMENTAL COMPLIANCE INSPECTOR PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.

CUT/FILL

9. MAXIMUM CUT AND FILL SLOPE = 2:1 (HORIZONTAL TO VERTICAL)
10. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, TOPSOIL AND OTHER DELETERIOUS MATERIAL. FILLS SHOULD BE PLACED IN THIN LIFT (8-INCH MAX OR AS RECOMMENDED IN THE SOILS REPORT), COMPACTED AND TESTED THROUGHOUT THE GRADING PROCESS UNTIL FINAL GRADING ARE ATTAINED. ALL FILLS ON SLOPES STEEPER THAN 5 TO 1 (HORIZONTAL TO VERTICAL) AND A HEIGHT GREATER THAN 5 FEET SHALL BE KEYED AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. THE BENCH UNDER THE TOE MUST BE 10 FEET WIDE MINIMUM.
11. THE SLOPE STABILITY FOR CUT AND FILL SLOPES OVER 30 FEET IN VERTICAL HEIGHT, OR CUT SLOPES STEEPER THAN 2:1 HAVE BEEN VERIFIED WITH A FACTOR OF SAFETY OF AT LEAST 1.5.
12. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENTION GREATER THAN 12 INCHES SHALL BE BURIED OR PLACED IN FILLS CLOSER THAN 10 FEET TO THE FINISHED GRADE.

DRAINAGE EROSION / DUST CONTROL

13. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. EROSION OF THE GROUND IN THE AREA OF DISCHARGE SHALL BE PREVENTED BY INSTALLATION OF NON-EROSIVE DOWN DRAINS OR OTHER DEVICES.
14. PROVIDE A PAVED SLOPE INTERCEPTOR DRAIN ALONG THE TOP OF CUT SLOPES WHERE THE DRAINAGE PATH IS GREATER THAN 40 FEET TOWARD THE CUT SLOPE.
15. PROVIDE 5' WIDE BY 1' HIGH BERM ALONG THE TOP OF ALL FILL SLOPES STEEPER THAN 3:1 (HORIZONTAL TO VERTICAL).
16. THE GROUND SURFACE IMMEDIATELY ADJACENT TO THE BUILDING FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION.
17. NO OBSTRUCTION OF NATURAL WATER COURSES SHALL BE PERMITTED.
18. DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL (BEST MANAGEMENT PRACTICES, BMPs) SHALL BE PROVIDED TO PREVENT PONDING WATER AND DRAINAGE TO ADJACENT PROPERTIES.
19. DUST CONTROL SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
20. FUGITIVE DUST CONTROL: CONSTRUCTION SITES SUBJECT TO PM10 FUGITIVE DUST MITIGATION SHALL COMPLY WITH AQMD RULE 403.1.
21. ALL EXISTING DRAINAGE COURSES AND STORM DRAIN FACILITIES SHALL CONTINUE TO FUNCTION. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
22. FOR ALL SLOPES STEEPER THAN 4 TO 1 (H/V): ALL SLOPES EQUAL TO OR GREATER THAN 3' IN VERTICAL HEIGHT ARE REQUIRED TO BE PLANTED WITH AN APPROVED DROUGHT-TOLERANCE GROUND COVER AT A MINIMUM SPACING OF 12" ON CENTER OR AS APPROVED BY THE ENGINEER OF RECORD OR THE REGISTERED LANDSCAPE ARCHITECT AND DROUGHT-TOLERANCE SHRUBS SPACED AT NO MORE THAN 10' ON CENTER. SLOPES EXCEEDING 15' IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED SHRUBS NOT TO EXCEED 10' ON CENTER, OR TREES SPACED NOT TO EXCEED 20' ON CENTER, OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15' IN ADDITION TO THE GRASS OR GROUND COVER. SLOPES THAT REQUIRE PLANTING SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM EQUIPPED WITH AN APPROPRIATE BACKFLOW DEVICE PER C.P.C., CHAPTER 6. THE SLOPE PLANTING AND IRRIGATION SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE UPON COMPLETION OF ROUGH GRADING. ALL PERMANENT SLOPE PLANTING SHALL BE ESTABLISHED AND IN GOOD CONDITION PRIOR TO SCHEDULING PRECISE GRADING INSPECTION.

RETAINING WALL

COMPLETION OF WORK

ROUGH GRADE

23. A REGISTERED CIVIL ENGINEER SHALL PREPARE FINAL COMPACTION REPORT/GRADING REPORT AND IT SHALL BE SUBMITTED TO THE DEPARTMENT OF BUILDING AND SAFETY FOR REVIEW AND APPROVAL. THE REPORT SHALL INCLUDE BUILDING FOUNDATION DESIGN PARAMETERS (ALLOWABLE SOIL PRESSURES, ETC.), EXPANSION INDEX (AND DESIGN ALTERNATIVE IF EI>20), WATER SOLUBLE SULFATE CONTENT, CORROSIIVITY AND REMEDIAL MEASURES IF NECESSARY.
 24. EXCEPT FOR NON-TRACT SINGLE RESIDENTIAL LOT GRADING, THE COMPACTION REPORT SHALL INCLUDE THE SPECIAL INSPECTION VERIFICATIONS LISTED ON TABLE 1705.6 OF 2019 CBC.
 25. THE COUNTY OF RIVERSIDE REQUIRES A LICENSED PROFESSIONAL ENGINEER TO SUBMIT A WET SIGNED AND STAMPED ROUGH GRADING CERTIFICATE WHICH INCLUDES PAD ELEVATIONS PRIOR TO REQUESTING INSPECTION AND ISSUANCE OF THE BUILDING PERMIT.
 26. **ROUGH GRADE ONLY PERMITS;** IN ADDITION TO OBTAINING ALL REQUIRED INSPECTIONS AND APPROVAL OF ALL FINAL REPORTS, ALL SITES PERMITTED FOR ROUGH GRADE ONLY SHALL PROVIDE VEGETATIVE COVERAGE (100 PERCENT) OR OTHER MEANS OF SITE STABILIZATION APPROVAL BY ENVIRONMENTAL COMPLIANCE DIVISION, PRIOR TO RECEIVING A ROUGH GRADE PERMIT FINAL.
- ## **PRECISE GRADE**
27. A REGISTERED CIVIL ENGINEER SHALL SUBMIT TO THE BUILDING AND SAFETY DEPARTMENT WRITTEN FINAL CERTIFICATION OF COMPLETION OF GRADING IN ACCORDANCE WITH THE APPROVED GRADING PLAN PRIOR TO THE REQUEST OF PRECISE GRADING INSPECTION.

PRECISE GRADE

NPDES: WHEN ONE ACRE OR MORE IS BEING DISTURBED

- CONSTRUCTION SITE BEST MANAGEMENT PRACTICE (BMPs) FOR THE MANAGEMENT OF STORM WATER AND NON-STORMWATER DISCHARGES SHALL BE DOCUMENTED ON THE GRADING PLAN. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO RETAIN THE SWPPP ON THE JOBSITE THROUGHOUT THE TIME OF CONSTRUCTION. THE IMPLEMENTATION AND MAINTENANCE OF THE SITE BMPs IS REQUIRED TO MINIMIZE JOBSITE EROSION AND SEDIMENTATION. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO MAINTAIN THOSE BMPs THROUGHOUT THE TIME OF CONSTRUCTION.
- EROSION CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE ENTRAINMENT OF SOIL IN RUNOFF FROM DISTURBED SOIL AREAS ON CONSTRUCTION SITES.
- SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE TRANSPORT OF SOIL FROM THE CONSTRUCTION SITE.
- GRADING SHALL BE PHASED TO LIMIT THE AMOUNT OF DISTURBED AREA EXPOSED TO THE EXTENT FEASIBLE.
- AREAS THAT ARE CLEARED AND GRADED SHALL BE LIMITED TO ONLY THE PORTION OF THE SITE THAT IS NECESSARY FOR CONSTRUCTION. THE CONSTRUCTION SITE SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREAS THROUGH PHASING AND SCHEDULING OF GRADING AND THE USE OF TEMPORARY AND PERMANENT SOIL STABILIZATION.
- ONCE DISTURBED, SLOPES (TEMPORARY OR PERMANENT) SHALL BE STABILIZED IF THEY WILL NOT BE WORKED WITHIN 21 DAYS. DURING STORM SEASON, ALL SLOPES SHALL BE STABILIZED PRIOR TO PREDICTED STORM EVENT. CONSTRUCTION SITES SHALL BE REVEGETATED AS EARLY AS FEASIBLE AFTER SOIL DISTURBANCE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE OR STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED, EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT. THE STATEWIDE GENERAL PERMIT-CONSTRUCTION ACTIVITY. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES, AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS, FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS. CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITE AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR LOCAL STORM DRAIN SYSTEM.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIAL, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO ELIMINATE OR REDUCE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- ALL CONSTRUCTION CONTRACTORS AND SUBCONTRACTOR PERSONNEL ARE TO BE TRAINED IN THE IMPLEMENTATION AND USE OF THE REQUIRED BMPs AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREA AND ALL TRAINING DOCUMENTATION SHALL BE MAINTAINED IN THE SWPPP.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES MAY REQUIRE A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE REGIONAL WATER QUALITY CONTROL BOARD.
- BMPs SHALL BE MAINTAINED AT ALL TIMES. IN ADDITION, BMPs SHALL BE INSPECTED PRIOR TO PREDICTED STORM EVENTS AND FOLLOWING STORM EVENTS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN TRASH OR RECYCLE BINS.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR:

THE CONTRACTOR AGREES THAT HE/S/ SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL TEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FOR THE LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THESE LOCATIONS ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADJUSTMENT THAT MAY BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

SPECIAL NOTES:

- 1- A PRE-GRADING/PRE-CONSTRUCTION MEETING AND SITE INSPECTION SHALL BE ARRANGED FOR BY THE SITE DEVELOPER PRIOR TO COMMENCING GRADING OPERATIONS. THOSE PARTIES REQUIRE TO ATTEND THE PRE-CONSTRUCTION MEETING SHALL INCLUDE BUT ARE NOT LIMITED TO THE DEVELOPER, PROJECT SUPERINTENDENT, ENGINEER OF RECORD, SOILS ENGINEER, GRADING CONTRACTOR, AND UNDERGROUND UTILITIES CONTRACTOR. REPRESENTING THE DEPARTMENT OF BUILDING AND SAFETY SHALL BE THE GRADING PLAN-CHECKER AND/OR GRADING INSPECTOR. THE FOCUS OF THE PRE-CONSTRUCTION MEETING SHALL BE TO DISCUSS THE VARIOUS ASPECTS AND RESPONSIBILITIES OF THE GRADING PROJECT AND TO PROVIDE AN APPROXIMATE TIMETABLE FOR THE COMPLETION OF ROUGH GRADING. ARRANGE FOR A PRE-GRADING/PRE-CONSTRUCTION MEETING BY CALLING THE DISTRICT OFFICE RESPONSIBLE FOR PROVIDING YOUR GRADING AND BUILDING INSPECTION. CALL COUNTY DISPATCH AT (951) 955-1800 AND FIRE DEPARTMENT AT (951) 955-4777 TO SETUP PRE-CONSTRUCTION MEETING.
- 2- THE ENGINEER OF RECORD HAS EVALUATED THE DRAINAGE AND DETERMINED THAT THE DRAINAGE ACROSS THE PROPERTY LINE DOES NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING.
- 3- THE ENGINEER OF RECORD WHO PREPARED AND SIGNED THE GRADING PLAN HAS VERIFIED THAT THE PROPOSED DRAINAGE SYSTEM IS CONSISTENT WITH NATURAL DRAINAGE PATTERN OF THE SITE AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
- 4- THE ENGINEER OF RECORD HAS DETERMINED THAT CONSIDERING THE SITE CONDITIONS INCLUDING THE SOIL AND THE CLIMATE, THE PROPOSED SITE DRAINAGE SLOPES SHALL BE SATISFACTORY AND DO NOT WARRANT THE MORE CONSERVATIVE REQUIREMENTS OF THE BUILDING CODE.
- 5- EXCEPT FOR THE RETAINING WALLS IN CONJUNCTION WITH THIS GRADING, ALL INFORMATION ASSOCIATED WITH BUILDINGS (INCLUDING SETBACKS AND FINISH FLOOR ELEVATIONS) IS FOR REFERENCE ONLY AND THE APPROVAL OF THIS GRADING PLAN DOES NOT INCLUDE ANY PROVISIONS ASSOCIATED WITH BUILDINGS.

FIRE DEPARTMENT NOTES:

- 1- THE FIRE DEPARTMENT ACCESS SHALL BE CAPABLE OF WITHSTANDING 40,000 POUNDS OVER TWO AXLES, DRIVEWAY GRADE SHALL NOT EXCEED 15%, VERTICAL CLEARANCE OF 13'-6" SHALL BE MAINTAINED UNOBSTRUCTED, ANY GATES SHALL BE APPROVED BY THE FIRE DEPARTMENT AND EQUIPPED WITH THE KNOX RAPID ENTRY SYSTEM.
- 2- THE DRIVEWAY IS ON MAX. 12" CUT OR FILL. 4" CONCRETE PAVEMENT OVER 90% COMPACTED FILL SUBGRADE WILL SATISFY THIS REQUIREMENT.
- 3- 100 FEET OF VEGETATION CLEARANCE SHALL BE MAINTAINED AROUND ALL STRUCTURES IN ACCORDANCE WITH RIVERSIDE COUNTY ORDINANCE 787.8.
- 4- THE BUILDING OWNER SHALL BE RESPONSIBLE IN MAINTAINING THE FIRE APPARATUS ACCESS ROAD AS DESIGNED.

NOTE:

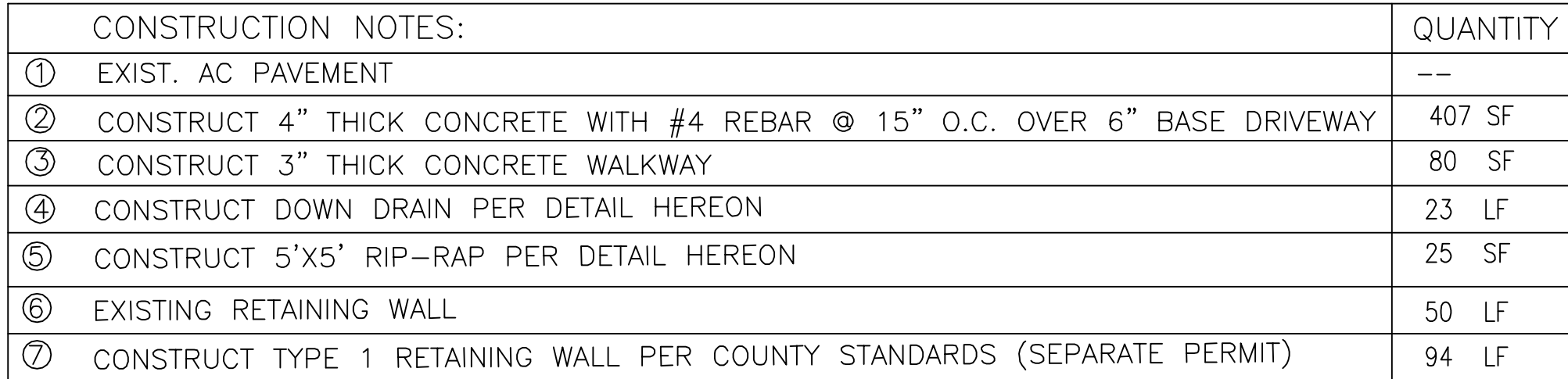
- 1- THE ENGINEER WHO PREPARED THE GRADING PLAN HAS VERIFIED THE PLAN CONSISTED BY THE TRANSPORTATION DEPARTMENT.
- 2- THE ENGINEER WHO PREPARED AND SIGNED THESE PLANS HAS VERIFIED THAT INFORMATION SHOWN ON THESE PLANS IS CONSISTENT WITH THE ROAD PLAN APPROVED BY THE TRANSPORTATION DEPARTMENT.
- 3- CUT AREA UNDER THE BUILDING SHOULD BE OVER EXCAVATED 5 FEET BELOW FOOTING AND 5 FEET BEYOND THE BUILDING LINE.

CONSTRUCTION NOTES:		QUANTITY
①	EXIST. AC PAVEMENT	--
②	CONSTRUCT 4" THICK CONCRETE WITH #4 REBAR @ 15" O.C. OVER 6" BASE DRIVEWAY	407 SF
③	CONSTRUCT 3" THICK CONCRETE WALKWAY	80 SF
④	CONSTRUCT DOWN DRAIN PER DETAIL HEREON	23 LF
⑤	CONSTRUCT 5'X5' RIP-RAP PER DETAIL HEREON	25 SF
⑥	EXISTING RETAINING WALL	50 LF
⑦	CONSTRUCT TYPE 1 RETAINING WALL PER COUNTY STANDARDS (SEPARATE PERMIT)	94 LF

NOTES:

A SEPARATE PERMIT IS REQUIRED FOR RETAINING WALLS OVER FOUR (4) FEET IN HEIGHT (MEASURED FROM THE BOTTOM OF FOOTING) SHOWN ON THIS GRADING PLAN OR WHERE SUPPORTING A SURCHARGE.

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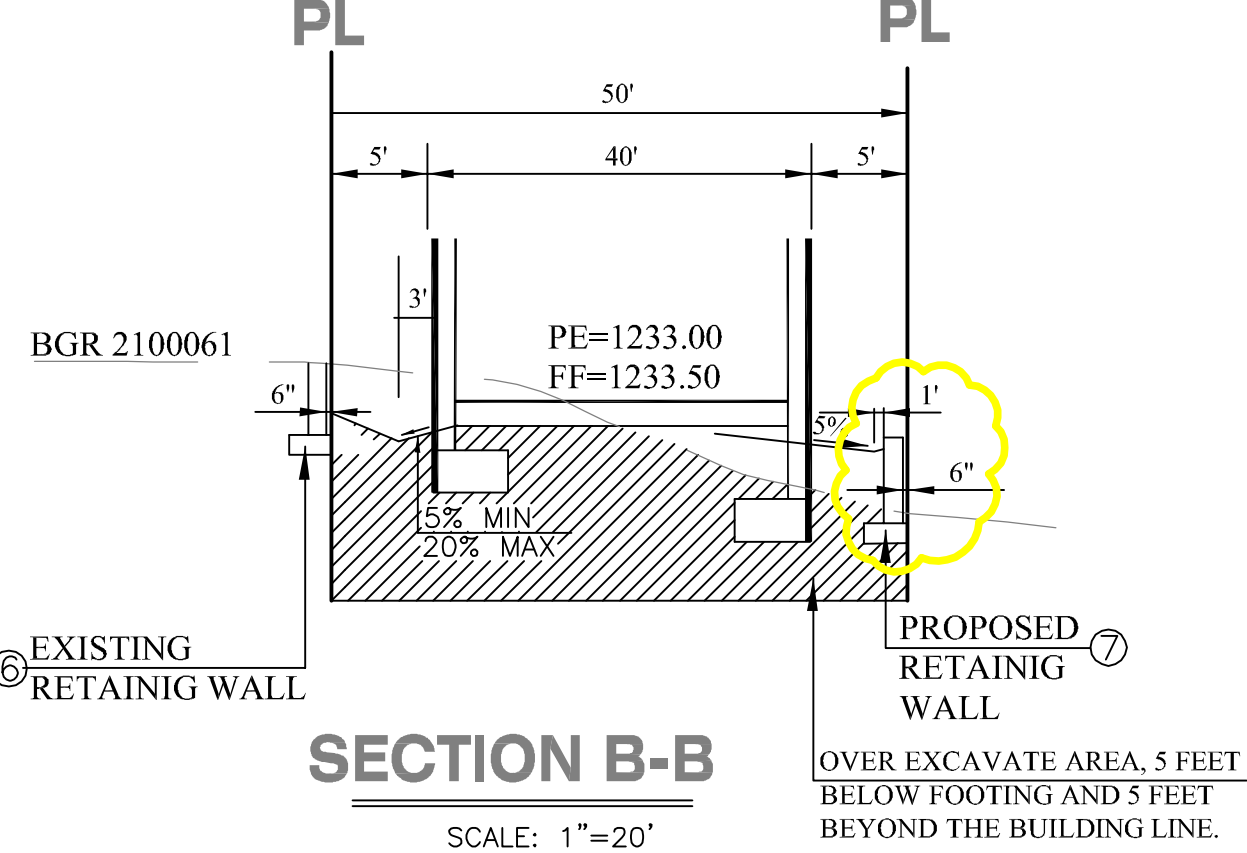
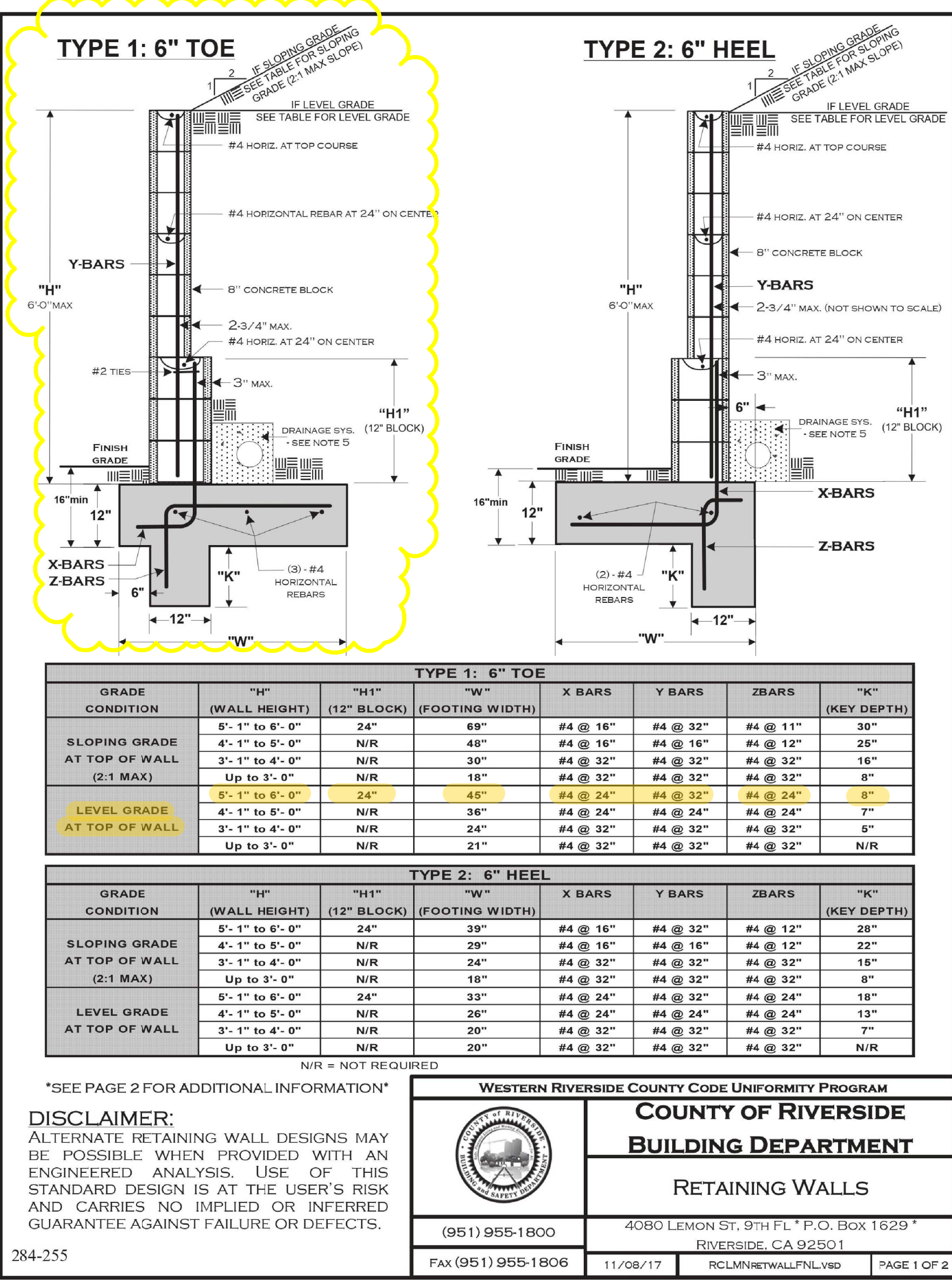


SETBACK FROM TOP OF SLOPE:
ALL FOOTINGS ADJACENT TO SLOPES TO BE AT LEAST 5' TO DAYLIGHT AS SHOWN BELOW.

DESIGN PARAMETERS:

ACTIVE SOIL PRESSURE (PSF)	= 30
LEVEL BACKFILL	= 43
SLOPING (2:1 MAX)	= 30
PASSIVE SOIL BEARING (PSF)	= 150
COEFFICIENT OF FRICTION	= 0.25
ALLOWABLE SOIL BEARING PRESSURE (PSF)	= 1500

(NO INCREASES TAKEN FOR DEPTH OR WIDTH OF FOOTING)

[illegible]