

**GRADING PLAN GENERAL NOTES**

**GENERAL**

- ALL GRADING SHALL CONFORM TO THE 2019 CALIFORNIA BUILDING CODE (CBC) CHAPTERS 17, 18 & APPENDIX-J AS AMENDED BY ORDINANCE 457.
- ALL PROPERTY CORNERS, GRADING BOUNDARIES AND ALL CONSERVATION AREAS/LEAST SENSITIVE AREA (LSA) DETERMINED BY THE ENVIRONMENTAL PROGRAMS DEPARTMENT (EDP) SHALL BE CLEARLY DELINEATED AND STAKED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
- ALL WORK UNDER THIS PERMIT SHALL BE LIMITED TO WORK WITHIN THE PROPERTY LINES. ALL WORK WITHIN THE ROAD RIGHT-OF-WAY WILL REQUIRE SEPARATE PLANS AND A SEPARATE REVIEW-APPROVAL (PERMIT) FROM THE TRANSPORTATION DEPARTMENT.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A SOILS ENGINEER IN CONFORMANCE WITH THE RECOMMENDATIONS OF THE PRELIMINARY SOILS INVESTIGATION PREPARED BY ARCH ENGINEERING, INC. DATED MAY 19, 2021.
- COMPACTED FILL TO SUPPORT ANY STRUCTURES SHALL COMPLY WITH SECTION 1803.5.8. PROJECTS WITHOUT A PRELIMINARY SOILS REPORT SHALL INCLUDE DETAILED SPECIFICATIONS IN ACCORDANCE WITH SECTION 1803.2 AND 1803.5 PREPARED BY THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST 24 HOURS IN ADVANCE TO REQUEST FINISH LOT GRADE AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION FOR EACH LOT.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, TWO DAYS BEFORE DIGGING AT 1-800-422-4133.
- PRIOR TO GRADING, A MEETING SHALL BE SCHEDULED WITH A RIVERSIDE COUNTY ENVIRONMENTAL COMPLIANCE INSPECTOR PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.

**CUT/FILL**

- MAXIMUM CUT AND FILL SLOPE = 2:1 (HORIZONTAL TO VERTICAL)
- NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, TOPSOIL AND OTHER DELETERIOUS MATERIAL. FILLS SHOULD BE PLACED IN THIN LIFT (8-INCH MAX OR AS RECOMMENDED IN THE SOILS REPORT), COMPACTED AND TESTED THROUGHOUT THE GRADING PROCESS UNTIL FINAL GRADING ARE ATTAINED. ALL FILLS ON SLOPES STEEPER THAN 5 TO 1 (HORIZONTAL TO VERTICAL) AND A HEIGHT GREATER THAN 5 FEET SHALL BE KEVED AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. THE BENCH UNDER THE TOE MUST BE 10 FEET WIDE MINIMUM.
- THE SLOPE STABILITY FOR CUT AND FILL SLOPES OVER 30 FEET IN VERTICAL HEIGHT, OR CUT SLOPES STEEPER THAN 2:1 HAVE BEEN VERIFIED WITH A FACTOR OF SAFETY OF AT LEAST 1.5.
- NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12 INCHES SHALL BE BURIED OR PLACED IN FILLS CLOSER THAN 10 FEET TO THE FINISHED GRADE.

**DRAINAGE EROSION / DUST CONTROL**

- DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. EROSION OF THE GROUND IN THE AREA OF DISCHARGE SHALL BE PREVENTED BY INSTALLATION OF NON-EROSIVE DOWN DRAINS OR OTHER DEVICES.
- PROVIDE A PAVED SLOPE INTERCEPTOR DRAIN ALONG THE TOP OF CUT SLOPES WHERE THE DRAINAGE PATH IS GREATER THAN 40 FEET TOWARD THE CUT SLOPE.
- PROVIDE 5' WIDE BY 1' HIGH BERM ALONG THE TOP OF ALL FILL SLOPES STEEPER THAN 3:1 (HORIZONTAL TO VERTICAL).
- THE GROUND SURFACE IMMEDIATELY ADJACENT TO THE BUILDING FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION.
- NO OBSTRUCTION OF NATURAL WATER COURSES SHALL BE PERMITTED.
- DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL (BEST MANAGEMENT PRACTICES, BMPs) SHALL BE PROVIDED TO PREVENT PONDING WATER AND DRAINAGE TO ADJACENT PROPERTIES.
- DUST CONTROL SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
- FUGITIVE DUST CONTROL: CONSTRUCTION SITES SUBJECT TO PM10 FUGITIVE DUST MITIGATION SHALL COMPLY WITH AQMD RULE 403.1.
- ALL EXISTING DRAINAGE COURSES AND STORM DRAIN FACILITIES SHALL CONTINUE TO FUNCTION. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
- FOR ALL SLOPES STEEPER THAN 4 TO 1 (H/V): ALL SLOPES EQUAL TO OR GREATER THAN 3' IN VERTICAL HEIGHT ARE REQUIRED TO BE PLANTED WITH AN APPROVED DROUGHT-TOLERANCE GROUND COVER AT A MINIMUM SPACING OF 12" ON CENTER OR AS APPROVED BY THE ENGINEER OF RECORD OR THE REGISTERED LANDSCAPE ARCHITECT AND DROUGHT-TOLERANCE SHRUBS SPACED AT NO MORE THAN 10' ON CENTER. SLOPES EXCEEDING 15' IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED SHRUBS NOT TO EXCEED 10' ON CENTER, OR TREES SPACED NOT TO EXCEED 20' ON CENTER, OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15' IN ADDITION TO THE GRASS OR GROUND COVER. SLOPES THAT REQUIRE PLANTING SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM EQUIPPED WITH AN APPROPRIATE BACKFLOW DEVICE PER C.P.C. CHAPTER 6. THE SLOPE PLANTING AND IRRIGATION SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE UPON COMPLETION OF ROUGH GRADING. ALL PERMANENT SLOPE PLANTING SHALL BE ESTABLISHED AND IN GOOD CONDITION PRIOR TO SCHEDULING PRECISE GRADING INSPECTION.

UNDERGROUND SERVICE ALERT  
CALL: TOLL FREE  
1-800-422-4133



TWO WORKING DAYS BEFORE YOU DIG

NOTE:  
WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

MARK	BY	DATE	REVISIONS	APPR. DATE	COUNTY
▲	MG	11-08-23	FILL SLOPE CHANGED FROM 5% TO 4:1		
▲	MG	11-08-23	REAR YARD GRADED TO HAVE MORE USABLE AREA		
▲	MG	11-08-23	AREA DRAIN AND PIPE ADDED- ITEMS 6 & 7		
▲	MG	11-08-23	RETAINING WALL MOVED TO 5' FROM THE HOUSE		

SEAL-COUNTY

GRADING DISTURBANCE CALC.  
AREA OF PROPOSED CONSTRUCTION/GRADING DISTURBANCE HOUSE PAD, SLOPE, AND D/W AND IMPORTED AREA=9,300 S.F. OR 0.21 ACR  
TOTAL IMPERVIOUS AREA= 2,830 (SQUARE FEET)  
DISTURBANCE OF LESS THAN ONE ACRE DO NOT REQUIRE SWPPP.

SEAL-ENGINEER  
REGISTERED PROFESSIONAL ENGINEER  
MASSOUD GHIAM  
C 59993  
EXP. 6-30-2024  
CIVIL  
STATE OF CALIFORNIA

ENGINEER OF WORK  
MASSOUD GHIAM  
24 OAKHURST RD  
IRVINE, CA 92620  
(949) 307-5410  
MASSOUDG98@YAHOO.COM  
*Massoud Ghiam*  
11-08-2023  
MASSOUD GHIAM  
RCE 59993, EXP. 6-30-2024

BENCHMARK:  
RIVERSIDE COUNTY #ML87  
A BASS DISK, STAMPED ML 87 1971 SET IN THE TOP OF CONCRETE POST 3" ABOVE GROUND. ALONG LA SIERRA AVE, 2.5 MILES FROM INTERSECTION OF LA SIERRA AVE/VICTORIA ST., 250' SOUTH OF EL SOBRANTE, 200' EAST OF LA SIERRA AVE. ELV: 1266.566

DRAWN  
DESIGNED M. G.  
CHECKED  
SCALE AS SHOWN  
JOB NUMBER  
DATE

INDEX  
SHEET NO. 1----- GENERAL NOTES  
SHEET NO. 2----- GRADING PLAN  
SHEET NO. 3----- EROSION CONTROL PLAN

BWL 2101670  
BGR 2100061  
BMP 2100056

**REVISED**

COUNTY OF RIVERSIDE  
PRECISE GRADING PLAN  
APN: 269-470-021  
16810 LA BELLA VILA  
RIVERSIDE, CA 92503

SHEET NO. 1  
OF 3 SHEETS  
FILE NO.

FOR: W.O. COUNTY FILE NO.

**PRECISE GRADING PLAN**

**COMPLETION OF WORK**

**ROUGH GRADE**

- A REGISTERED CIVIL ENGINEER SHALL PREPARE FINAL COMPACTION REPORT/GRADING REPORT AND IT SHALL BE SUBMITTED TO THE DEPARTMENT OF BUILDING AND SAFETY FOR REVIEW AND APPROVAL. THE REPORT SHALL INCLUDE BUILDING FOUNDATION DESIGN PARAMETERS (ALLOWABLE SOIL PRESSURES, ETC.), EXPANSION INDEX (AND DESIGN ALTERNATIVE IF EI>20), WATER SOLUBLE SULFATE CONTENT, CORROSIVELY AND REMEDIAL MEASURES IF NECESSARY.
- EXCEPT FOR NON-TRACT SINGLE RESIDENTIAL LOT GRADING, THE COMPACTION REPORT SHALL INCLUDE THE SPECIAL INSPECTION VERIFICATIONS LISTED ON TABLE 1705.6 OF 2019 CBC.
- THE COUNTY OF RIVERSIDE REQUIRES A LICENSED PROFESSIONAL ENGINEER TO SUBMIT A WET SIGNED AND STAMPED ROUGH GRADING CERTIFICATE WHICH INCLUDES PAD ELEVATIONS PRIOR TO REQUESTING INSPECTION AND ISSUANCE OF THE BUILDING PERMIT.
- ROUGH GRADE ONLY PERMITS:** IN ADDITION TO OBTAINING ALL REQUIRED INSPECTIONS AND APPROVAL OF ALL FINAL REPORTS, ALL SITES PERMITTED FOR ROUGH GRADE ONLY SHALL PROVIDE VEGETATIVE COVERAGE (100 PERCENT) OR OTHER MEANS OF SITE STABILIZATION APPROVAL BY ENVIRONMENTAL COMPLIANCE DIVISION, PRIOR TO RECEIVING A ROUGH GRADE PERMIT FINAL.

**PRECISE GRADE**

- A REGISTERED CIVIL ENGINEER SHALL SUBMIT TO THE BUILDING AND SAFETY DEPARTMENT WRITTEN FINAL CERTIFICATION OF COMPLETION OF GRADING IN ACCORDANCE WITH THE APPROVED GRADING PLAN PRIOR TO THE REQUEST OF PRECISE GRADING INSPECTION.

**NPDES: WHEN ONE ACRE OR MORE IS BEING DISTURBED**

- CONSTRUCTION SITE BEST MANAGEMENT PRACTICE (BMPs) FOR THE MANAGEMENT OF STORM WATER AND NON-STORMWATER DISCHARGES SHALL BE DOCUMENTED ON THE GRADING PLAN. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO RETAIN THE SWPPP ON THE JOB SITE THROUGHOUT THE TIME OF CONSTRUCTION. THE IMPLEMENTATION AND MAINTENANCE OF THE SITE BMPs IS REQUIRED TO MINIMIZE JOB SITE EROSION AND SEDIMENTATION. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO MAINTAIN THOSE BMPs THROUGHOUT THE TIME OF CONSTRUCTION.
- EROSION CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE ENTRAINMENT OF SOIL IN RUNOFF FROM DISTURBED SOIL AREAS ON CONSTRUCTION SITES.
- SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE TRANSPORT OF SOIL FROM THE CONSTRUCTION SITE.
- GRADING SHALL BE PHASED TO LIMIT THE AMOUNT OF DISTURBED AREA EXPOSED TO THE EXTENT FEASIBLE.
- AREAS THAT ARE CLEARED AND GRADED SHALL BE LIMITED TO ONLY THE PORTION OF THE SITE THAT IS NECESSARY FOR CONSTRUCTION. THE CONSTRUCTION SITE SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREAS THROUGH PHASING AND SCHEDULING OF GRADING AND THE USE OF TEMPORARY AND PERMANENT SOIL STABILIZATION.
- ONCE DISTURBED, SLOPES (TEMPORARY OR PERMANENT) SHALL BE STABILIZED IF THEY WILL NOT BE WORKED WITHIN 21 DAYS. DURING STORM SEASON, ALL SLOPES SHALL BE STABILIZED PRIOR TO PREDICTED STORM EVENT. CONSTRUCTION SITES SHALL BE REVEGETATED AS EARLY AS FEASIBLE AFTER SOIL DISTURBANCE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE OR STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED, EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT, THE STATEWIDE GENERAL PERMIT-CONSTRUCTION ACTIVITY. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANT, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES, AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS, FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS, CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITE AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR LOCAL STORM DRAIN SYSTEM.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIAL, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO ELIMINATE OR REDUCE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- ALL CONSTRUCTION CONTRACTORS AND SUBCONTRACTOR PERSONNEL ARE TO BE TRAINED IN THE IMPLEMENTATION AND USE OF THE REQUIRED BMPs AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREA AND ALL TRAINING DOCUMENTATION SHALL BE MAINTAINED IN THE SWPPP.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES MAY REQUIRE A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE REGIONAL WATER QUALITY CONTROL BOARD.
- BMPs SHALL BE MAINTAINED AT ALL TIMES. IN ADDITION, BMPs SHALL BE INSPECTED PRIOR TO PREDICTED STORM EVENTS AND FOLLOWING STORM EVENTS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN TRASH OR RECYCLE BINS.

**PRIVATE ENGINEER'S NOTICE TO CONTRACTOR:**

THE CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FOR THE LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THESE LOCATIONS ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THE ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

**SPECIAL NOTES:**

- A PRE-GRADING/PRE-CONSTRUCTION MEETING AND SITE INSPECTION SHALL BE ARRANGED FOR BY THE SITE DEVELOPER PRIOR TO COMMENCING GRADING OPERATIONS. THOSE PARTIES REQUIRED TO ATTEND THE PRE-CONSTRUCTION MEETING SHALL INCLUDE BUT ARE NOT LIMITED TO THE DEVELOPER, PROJECT SUPERINTENDENT, ENGINEER OF RECORD, SOILS ENGINEER, GRADING CONTRACTOR, AND UNDERGROUND UTILITIES CONTRACTOR. REPRESENTING THE DEPARTMENT OF BUILDING AND SAFETY SHALL BE THE GRADING PLAN-CHECKER AND/OR GRADING INSPECTOR. THE FOCUS OF THE PRE-CONSTRUCTION MEETING SHALL BE TO DISCUSS THE VARIOUS ASPECTS AND RESPONSIBILITIES OF THE GRADING PROJECT AND TO PROVIDE AN APPROXIMATE TIMETABLE FOR THE COMPLETION OF ROUGH GRADING. ARRANGE FOR A PRE-GRADING/PRE-CONSTRUCTION MEETING BY CALLING THE DISTRICT OFFICE RESPONSIBLE FOR PROVIDING YOUR GRADING AND BUILDING INSPECTION. CALL COUNTY DISPATCH AT (951) 955-1800 AND FIRE DEPARTMENT AT (951) 955-4777 TO SETUP PRE-CONSTRUCTION MEETING.
- THE ENGINEER OF RECORD HAS EVALUATED THE DRAINAGE AND DETERMINED THAT THE DRAINAGE ACROSS THE PROPERTY LINE DOES NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING.
- THE ENGINEER OF RECORD WHO PREPARED AND SIGNED THE GRADING PLAN HAS VERIFIED THAT THE PROPOSED DRAINAGE SYSTEM IS CONSISTENT WITH NATURAL DRAINAGE PATTERN OF THE SITE AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
- THE ENGINEER OF RECORD HAS DETERMINED THAT CONSIDERING THE SITE CONDITIONS INCLUDING THE SOIL AND THE CLIMATE, THE PROPOSED SITE DRAINAGE SLOPES SHALL BE SATISFACTORY AND DO NOT WARRANT THE MORE CONSERVATIVE REQUIREMENTS OF THE BUILDING CODE.
- EXCEPT FOR THE RETAINING WALLS IN CONJUNCTION WITH THIS GRADING, ALL INFORMATION ASSOCIATED WITH BUILDINGS (INCLUDING SETBACKS AND FINISH FLOOR ELEVATIONS) IS FOR REFERENCE ONLY AND THE APPROVAL OF THIS GRADING PLAN DOES NOT INCLUDE ANY PROVISIONS ASSOCIATED WITH BUILDINGS.

**FIRE DEPARTMENT NOTES:**

- THE FIRE DEPARTMENT ACCESS SHALL BE CAPABLE OF WITHSTANDING 40,000 POUNDS OVER TWO AXLES. DRIVEWAY GRADE SHALL NOT EXCEED 15%. VERTICAL CLEARANCE OF 13'-6" SHALL BE MAINTAINED UNOBSTRUCTED, ANY GATES SHALL BE APPROVED BY THE FIRE DEPARTMENT AND EQUIPPED WITH THE KNOX RAPID ENTRY SYSTEM.
- THE DRIVEWAY IS ON MAX. 12" CUT OR FILL. 4" CONCRETE PAVEMENT OVER 90% COMPACTED FILL SUBGRADE WILL SATISFY THIS REQUIREMENT.
- 100 FEET OF VEGETATION CLEARANCE SHALL BE MAINTAINED AROUND ALL STRUCTURES IN ACCORDANCE WITH RIVERSIDE COUNTY ORDINANCE 787.8.
- THE BUILDING OWNER SHALL BE RESPONSIBLE IN MAINTAINING THE FIRE APPARATUS ACCESS ROAD AS DESIGNED.
- THERE IS NO STRUCTURE WITHIN 30' OF THE PROPRTY LINES.

**NOTE:**

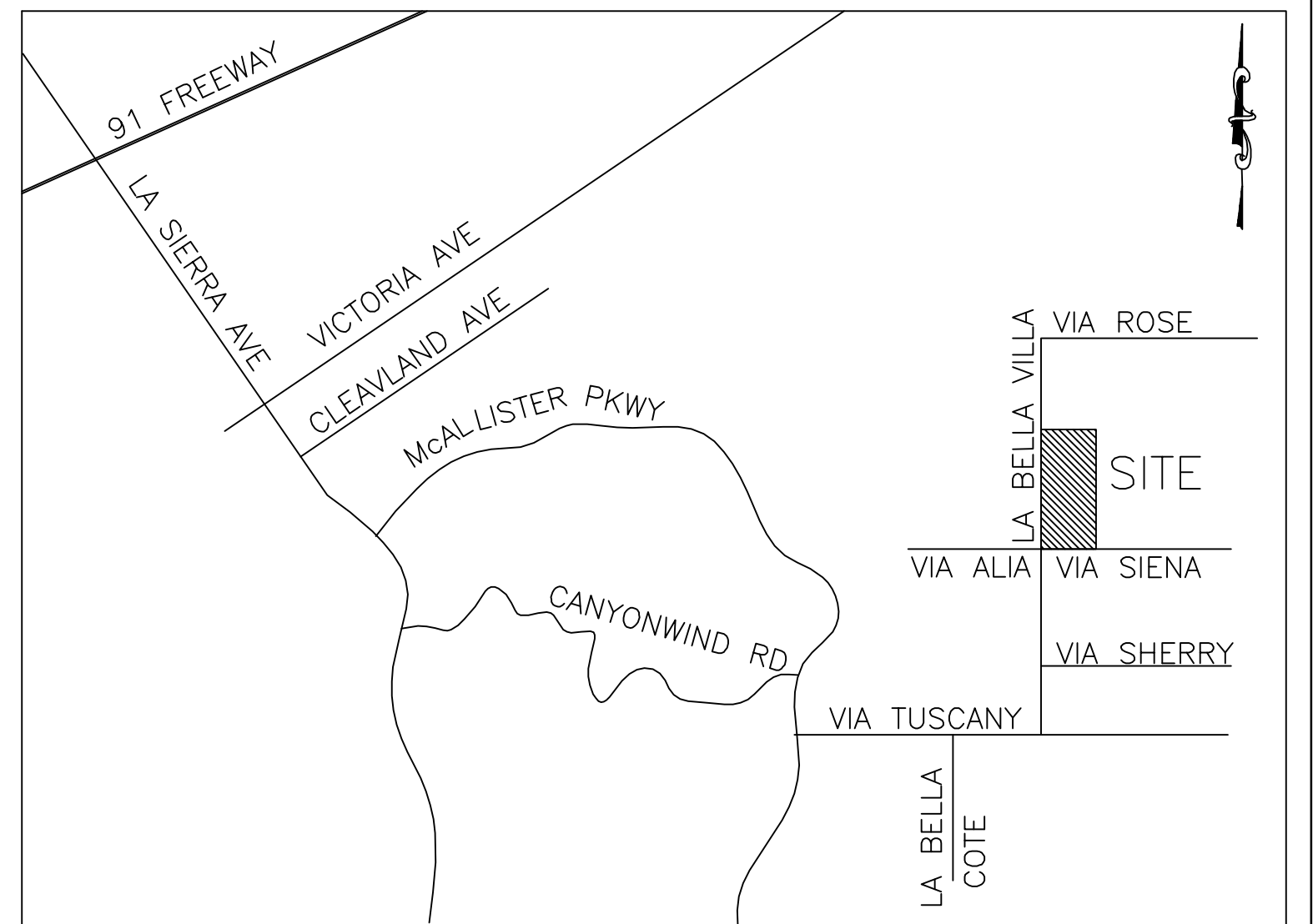
- THE ENGINEER WHO PREPARED THE GRADING PLAN HAS VERIFIED THE PLAN CONSISTED BY THE TRANSPORTATION DEPARTMENT.
- THE ENGINEER WHO PREPARED AND SIGNED THESE PLANS HAS VERIFIED THAT INFORMATION SHOWN ON THESE PLANS IS CONSISTENT WITH THE ROAD PLAN APPROVED BY THE TRANSPORTATION DEPARTMENT.
- CUT AREA UNDER THE BUILDING SHOULD BE OVER EXCAVATED 2 FEET BELOW FOOTING AND 5 FEET BEYOND THE BUILDING LINE.

CONSTRUCTION NOTES:	QUANTITY
① EXIST. AC PAVEMENT	--
② CONSTRUCT 4" THICK CONCRETE DRIVEWAY	407 SF
③ CONSTRUCT 3" THICK CONCRETE WALKWAY	80 SF
④ CONSTRUCT 5'X5' RIP-RAP PER DETAIL HEREON	25 SF
⑤ CONSTRUCT TYPE 1 RETAINING WALL PER COUNTY STANDARDS (SEPARATE PERMIT)	77 LF
⑥ INSTALL 4" AREA DRAIN	3 EA
⑦ INSTALL 4" PVC SCH. 40 DRAINAGE PIPE	35 LF

**NOTES:**

A SEPARATE PERMIT IS REQUIRED FOR RETAINING WALLS OVER FOUR (4) FEET IN HEIGHT (MEASURED FROM THE BOTTOM OF FOOTING) SHOWN ON THIS GRADING PLAN OR WHERE SUPPORTING A SURCHARGE.

COUNTY OF RIVERSIDE  
DEPARTMENT OF BUILDING AND SAFETY  
APPROVED  
11/20/2023  
REVIEWED BY SALEEM BAIG  
Approval of these plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the state or county laws. This set of plans must be kept on the job until completion.



VICINITY MAP N.T.S.

T3SR5W SEC 29  
PAGE 745 GRID: A5

**LEGEND/SYMBOLS**

FLOW LINE	_____	F.L.
HIGH POINT	_____	H.P.
FINISHED GRADE	_____	F.G.
FINISHED SURFACE	_____	F.S.
FINISH FLOOR	_____	FF
EDGE OF PAVEMENT	_____	EP
PAD ELEVATION	_____	PE
RIGHT OF WAY	_____	R/W
EXISTING ELEVATION	( )	( )
PROPOSED CONCRETE	_____	_____
PROPOSED RETAINING WALL	_____	_____

**LEGAL DESCRIPTION**

A PORTION OF LAND WITHIN THE UNINCORPORATED AREA OF RIVERSIDE COUNTY LYING WITHIN SECTION 29, TOWNSHIP 5 WEST, BEING LOT 22 AS SHOWN ON ASSESSOR'S MAP NO. 65 ON FILE IN BOOK 2 PAGE 22 OFFICIAL RECORDS OF SAID COUNTY

**COC20075 A.P.N. 269-470-021**

OWNER	PROPERTY ADDRESS
MATTHEW & CAROL LANCASTER C/O JOHN RUSSO 1260 CORONA POINTE CT, STE 102 CORONA, CA 92789 (951) 836-0530 JRUSO@E-EQUITIES.COM	16810 LA BELLA VILA RIVERSIDE, CA 92503
SOURCE OF TOPOGRAPHY:	BASIS OF BEARING
RIVERSIDE COUNTY FLOOD CONTROL AND FIELD SURVEY BY LAKESHORE ENGINEERING DATED 11/22/2020	CENTER LINE OF VIA TUSCANY HAVING BEARING OF N 00° 08' 13" W AS SHOWN ON RS 69.92
ESTIMATED QUANTITIES:	SOILS ENGINEER
PROPOSED CUTS: 125 CY PROPOSED FILLS: 325 CY PROPOSED EXPORT: 0 CY PROPOSED IMPORT: 200 CY	FRED JALEH ARCH ENGINEERING, INC. 117 S. MAIN STREET LAKE ELSINORE, CA 92530 (951) 245-2444 ARCHENG117@GMAIL.COM
SOURCE OF IMPORT DIRET APN 269-201-055	LAND USE: VACANT ZONING: R-R SITE AREA: 16,500 SF. (0.38 AC)
	PROJECT DISTURBED AREA=7,500 SF IMPORT DISTURBED AREA=1,800 SF TOTAL DISTURBED AREA=9,300 SF IMPERVIOUS AREA= 2,806 SF

BGR2100061 - APPROVED



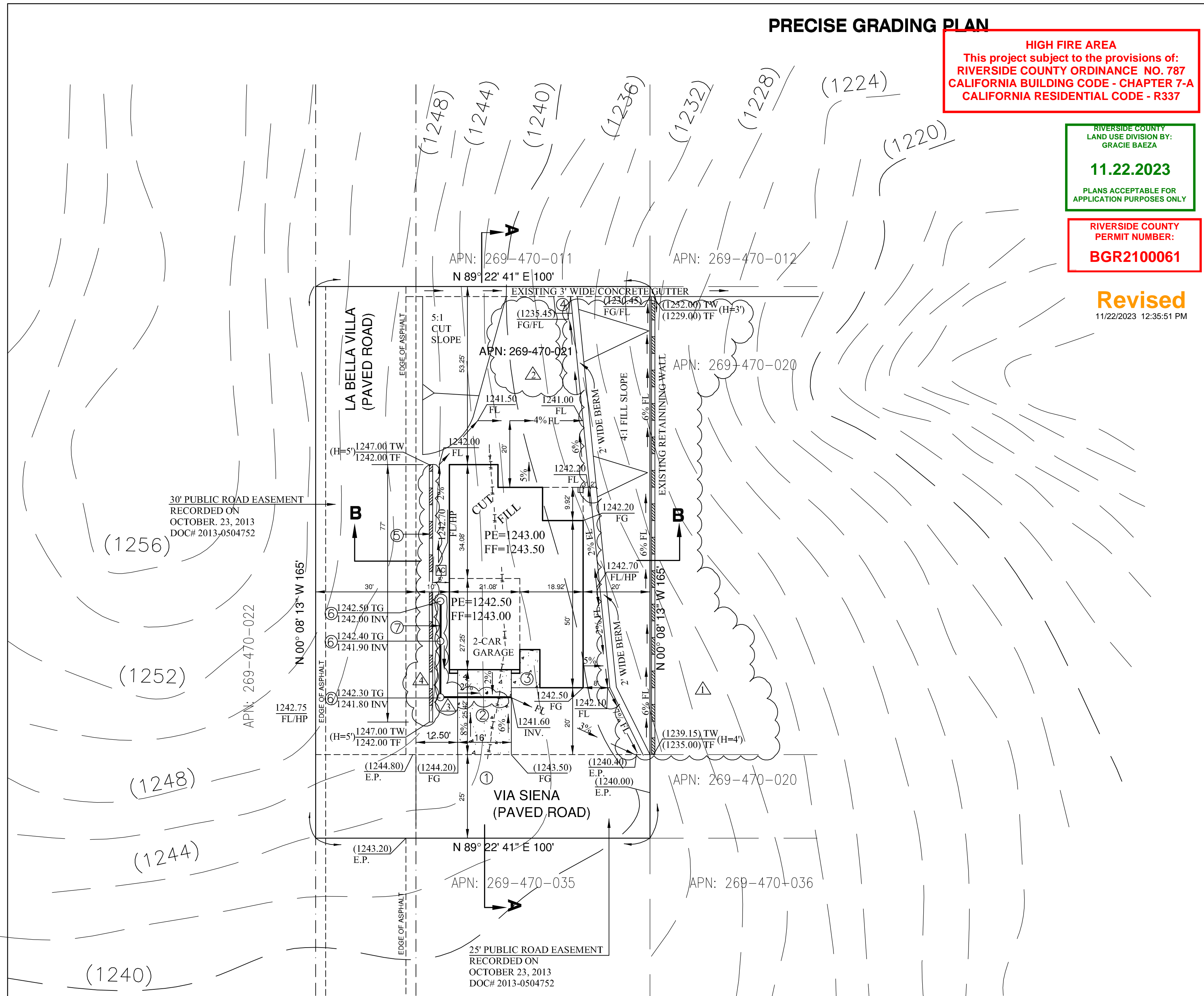
**PRECISE GRADING PLAN**

**HIGH FIRE AREA**  
 This project subject to the provisions of:  
 RIVERSIDE COUNTY ORDINANCE NO. 787  
 CALIFORNIA BUILDING CODE - CHAPTER 7-A  
 CALIFORNIA RESIDENTIAL CODE - R337

RIVERSIDE COUNTY  
 LAND USE DIVISION BY:  
 GRACIE BAEZA  
**11.22.2023**  
 PLANS ACCEPTABLE FOR  
 APPLICATION PURPOSES ONLY

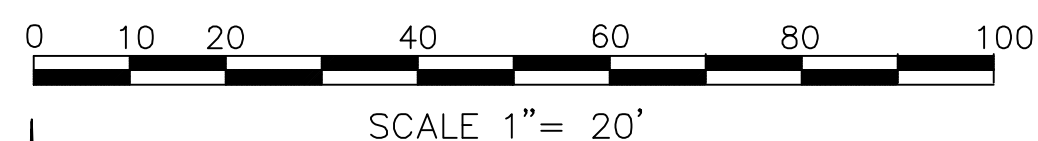
RIVERSIDE COUNTY  
 PERMIT NUMBER:  
**BGR2100061**

**Revised**  
 11/22/2023 12:35:51 PM



**LEGEND/SYMBOLS**

- FLOW LINE \_\_\_\_\_ F.L.
- HIGH POINT \_\_\_\_\_ H.P.
- FINISHED GRADE \_\_\_\_\_ F.G.
- FINISHED SURFACE \_\_\_\_\_ F.S.
- FINISH FLOOR \_\_\_\_\_ FF
- EDGE OF PAVEMENT \_\_\_\_\_ EP
- PAD ELEVATION \_\_\_\_\_ PE
- RIGHT OF WAY \_\_\_\_\_ R/W
- EXISTING ELEVATION \_\_\_\_\_ ( )
- PROPOSED CONCRETE \_\_\_\_\_ [Symbol]
- PROPOSED RETAINING WALL \_\_\_\_\_ [Symbol]

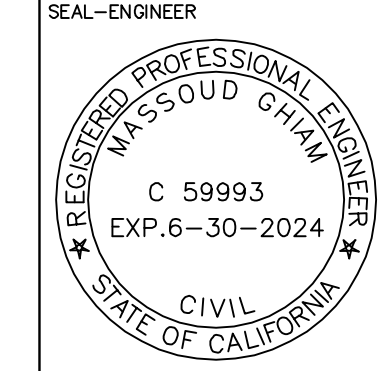


**UNDERGROUND SERVICE ALERT**  
 CALL: TOLL FREE  
 1-800-422-4133  
 TWO WORKING DAYS BEFORE YOU DIG

**NOTE:**  
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

MARK	BY	DATE	REVISIONS	APPR. DATE	COUNTY
MG		11-08-23	FILL SLOPE CHANGED FROM 5% TO 4:1		
MG		11-08-23	REAR YARD GRADED TO HAVE MORE USABLE AREA		
MG		11-08-23	AREA DRAIN AND PIPE ADDED- ITEMS 6 & 7		
MG		11-08-23	RETAINING WALL MOVED TO 5' FROM THE HOUSE		

GRADING DISTURBANCE CALC.  
**SEE SHEET 1 OF 3**



**ENGINEER OF WORK**  
 MASSOUD GHAM  
 24 OAKHURST RD  
 IRVINE, CA 92620  
 (949) 307-5410  
 MASSOUDG@GMAIL.COM  
 DATE: 11-08-2023  
 RCE 59993, EXP. 6-30-2024

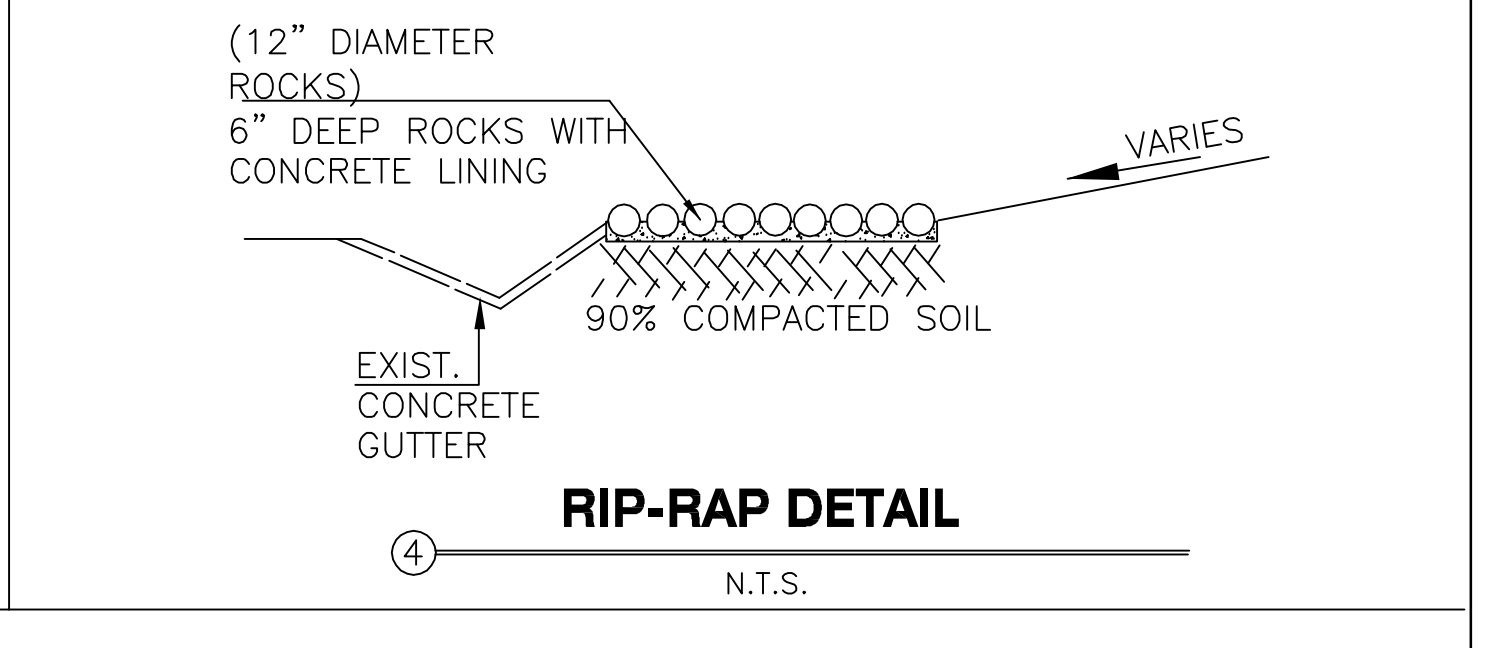
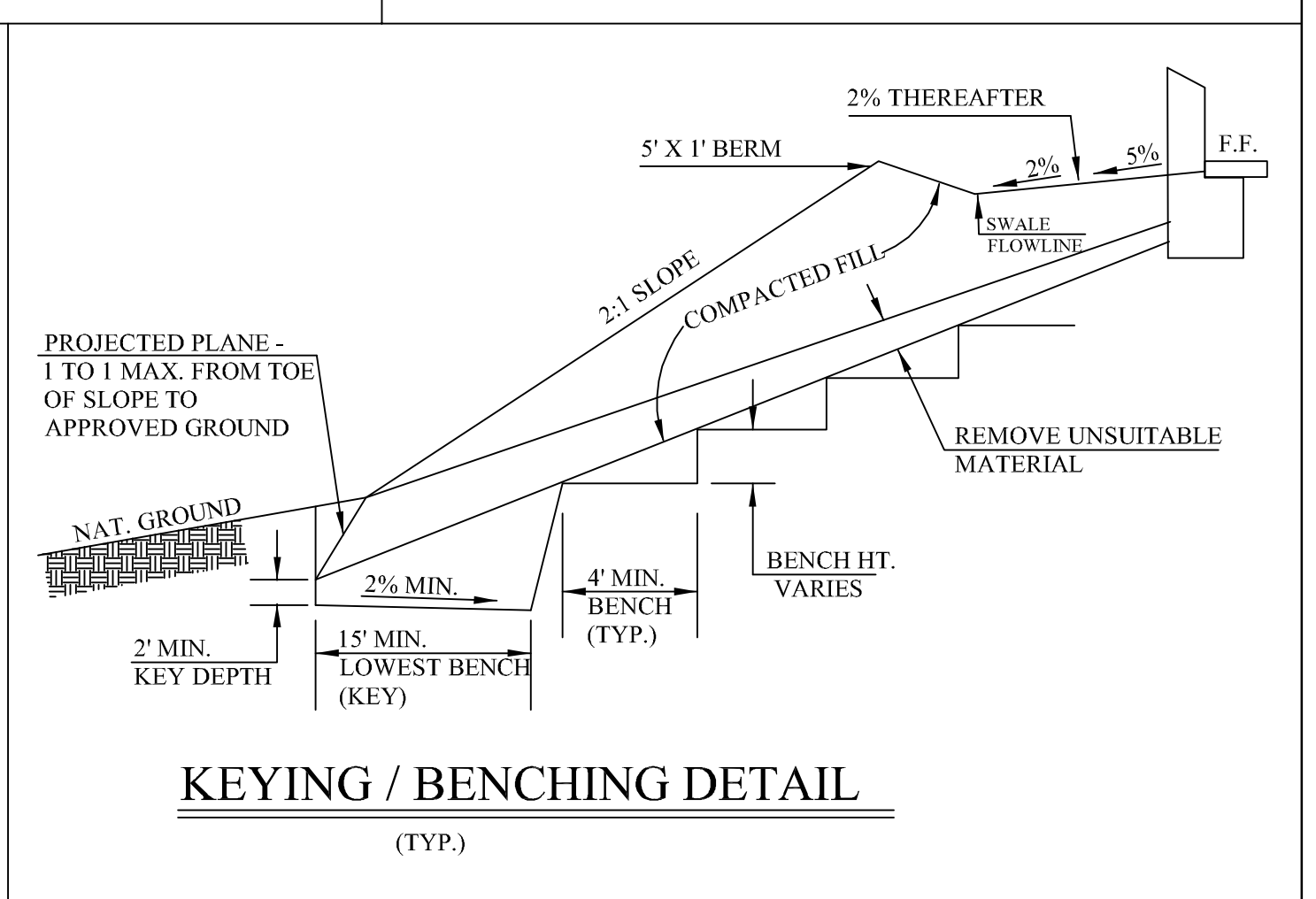
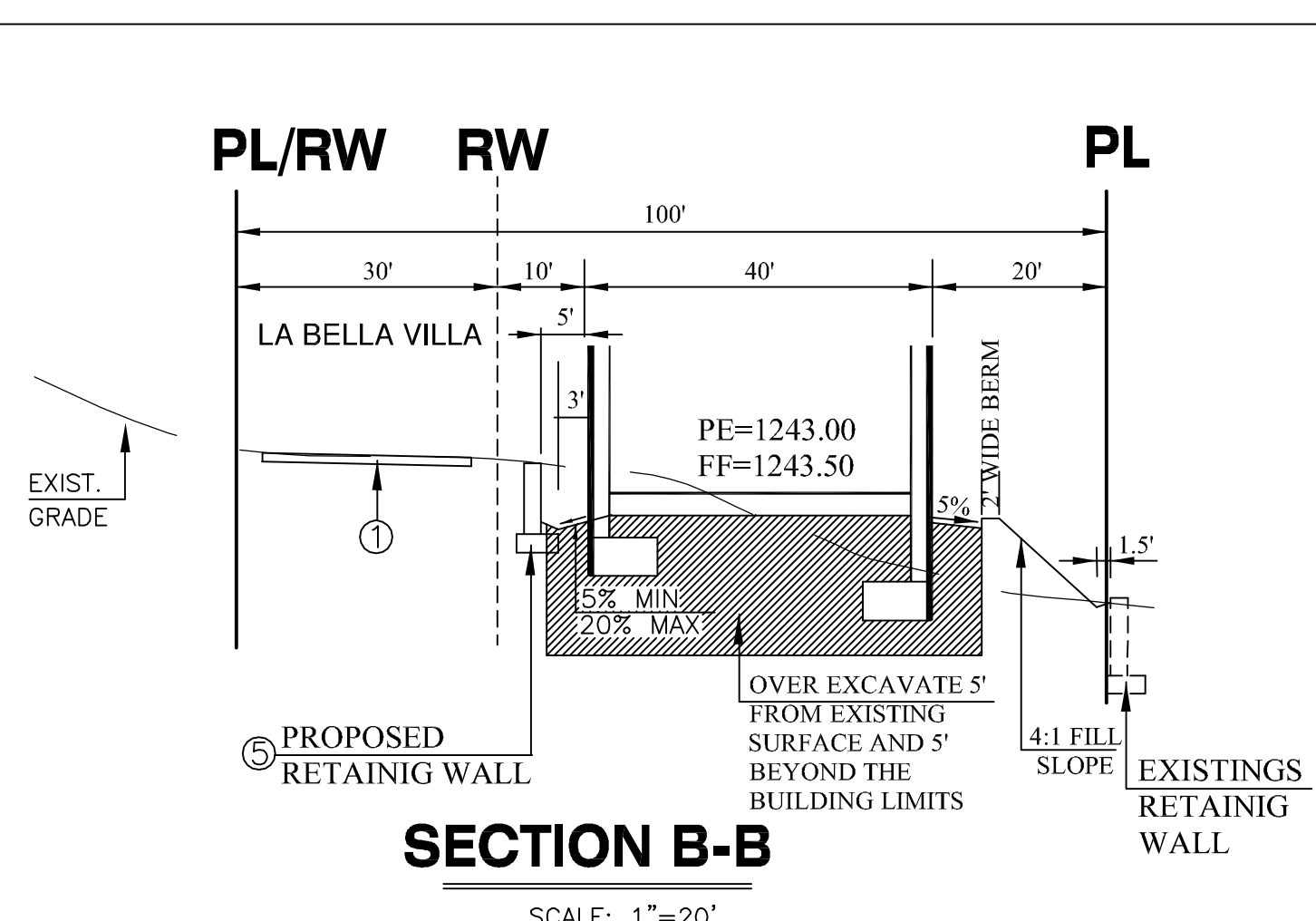
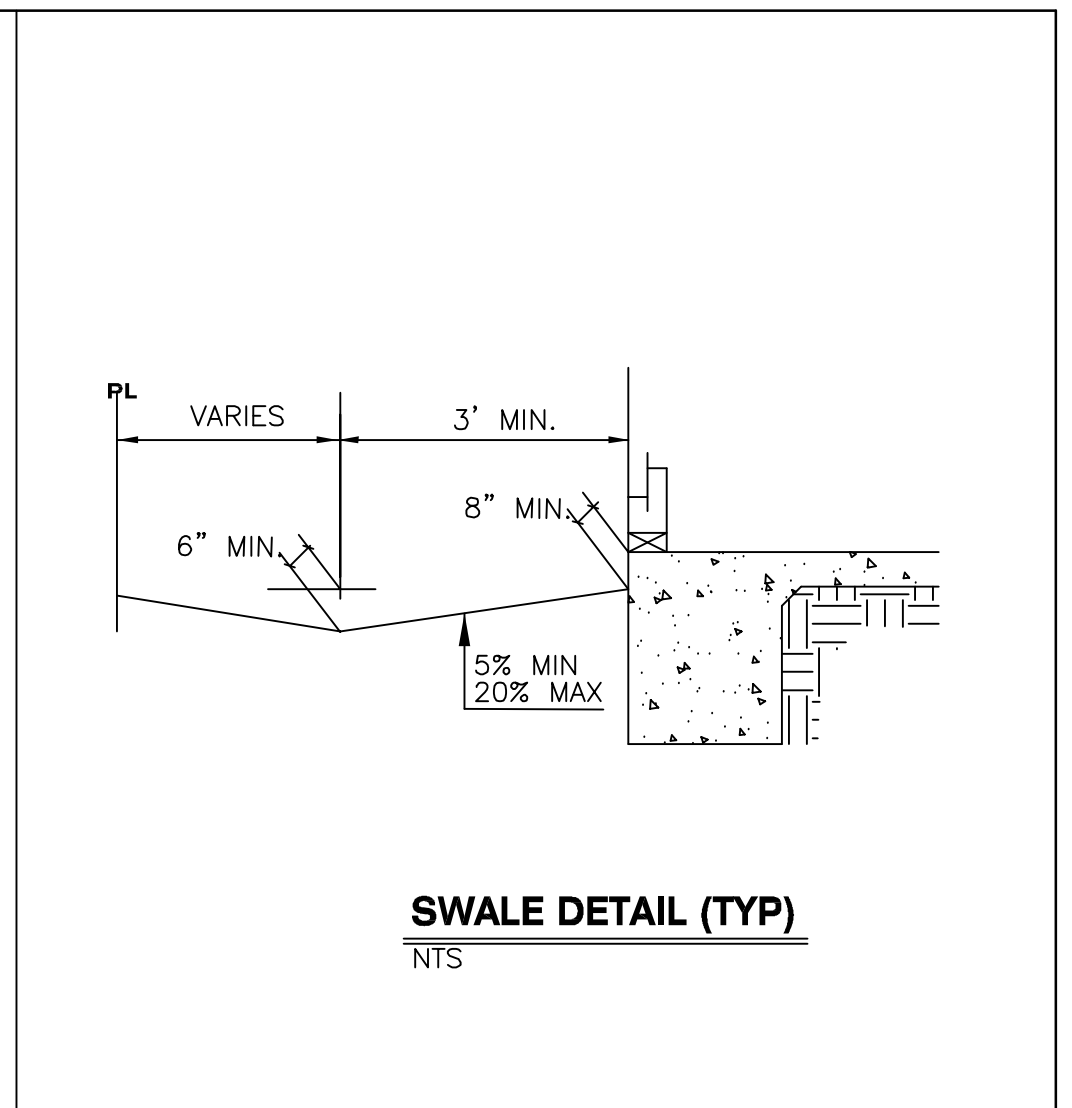
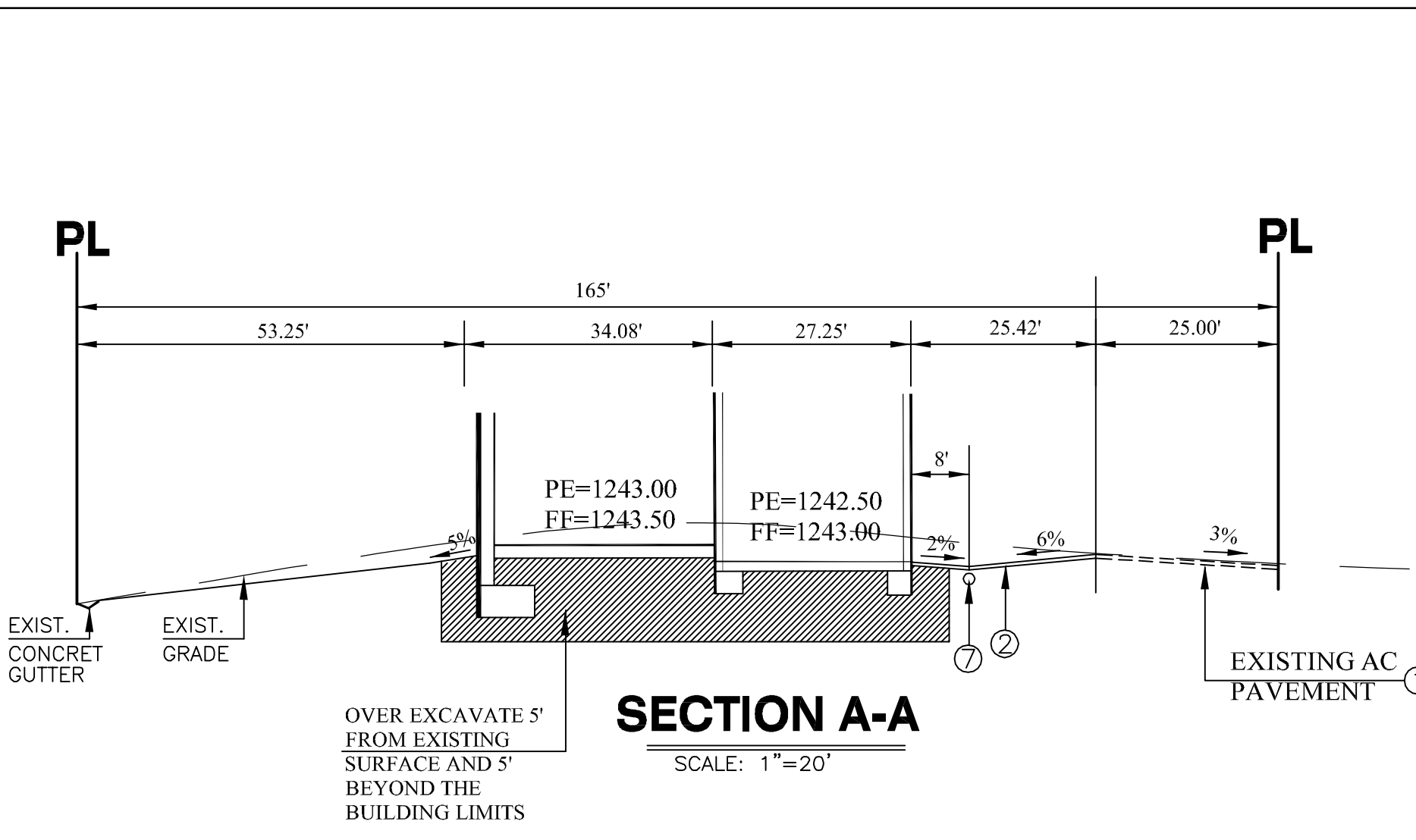
**BENCHMARK:**  
 RIVERSIDE COUNTY #ML87  
 A BASS DISK, STAMPED ML 87. 1971 SET IN THE TOP OF CONCRETE POST 3" ABOVE GROUND. ALONG LA SIENA AVE, 2.5 MILES FROM INTERSECTION OF LA SIENA AVE/VICTORIA ST., 250' SOUTH OF EL SOBRANTE, 200' EAST OF LA SIENA AVE. ELV: 1266.566

**DRAWN**  
 DESIGNED: M. G.  
 CHECKED:  
 SCALE: AS SHOWN  
 JOB NUMBER:  
 DATE:

**COUNTY OF RIVERSIDE**  
**PRECISE GRADING PLAN**  
 APN: 269-470-021  
 16810 LA BELLA VILA  
 RIVERSIDE, CA 92503

BWL 2101670  
 BGR 2100061  
 BMP 2100056

SHEET NO. 2  
 OF 3 SHEETS  
 FILE NO.



CONSTRUCTION NOTES:	QUANTITY
① EXIST. AC PAVEMENT	--
② CONSTRUCT 4" THICK CONCRETE DRIVEWAY	407 SF
③ CONSTRUCT 3" THICK CONCRETE WALKWAY	80 SF
④ CONSTRUCT 5'X5' RIP-RAP PER DETAIL HEREON	25 SF
⑤ CONSTRUCT TYPE 1 RETAINING WALL PER COUNTY STANDARDS (SEPARATE PERMIT)	77 LF
⑥ INSTALL 4" AREA DRAIN	3 EA
⑦ INSTALL 4" PVC SCH. 40 DRAINAGE PIPE	35 LF

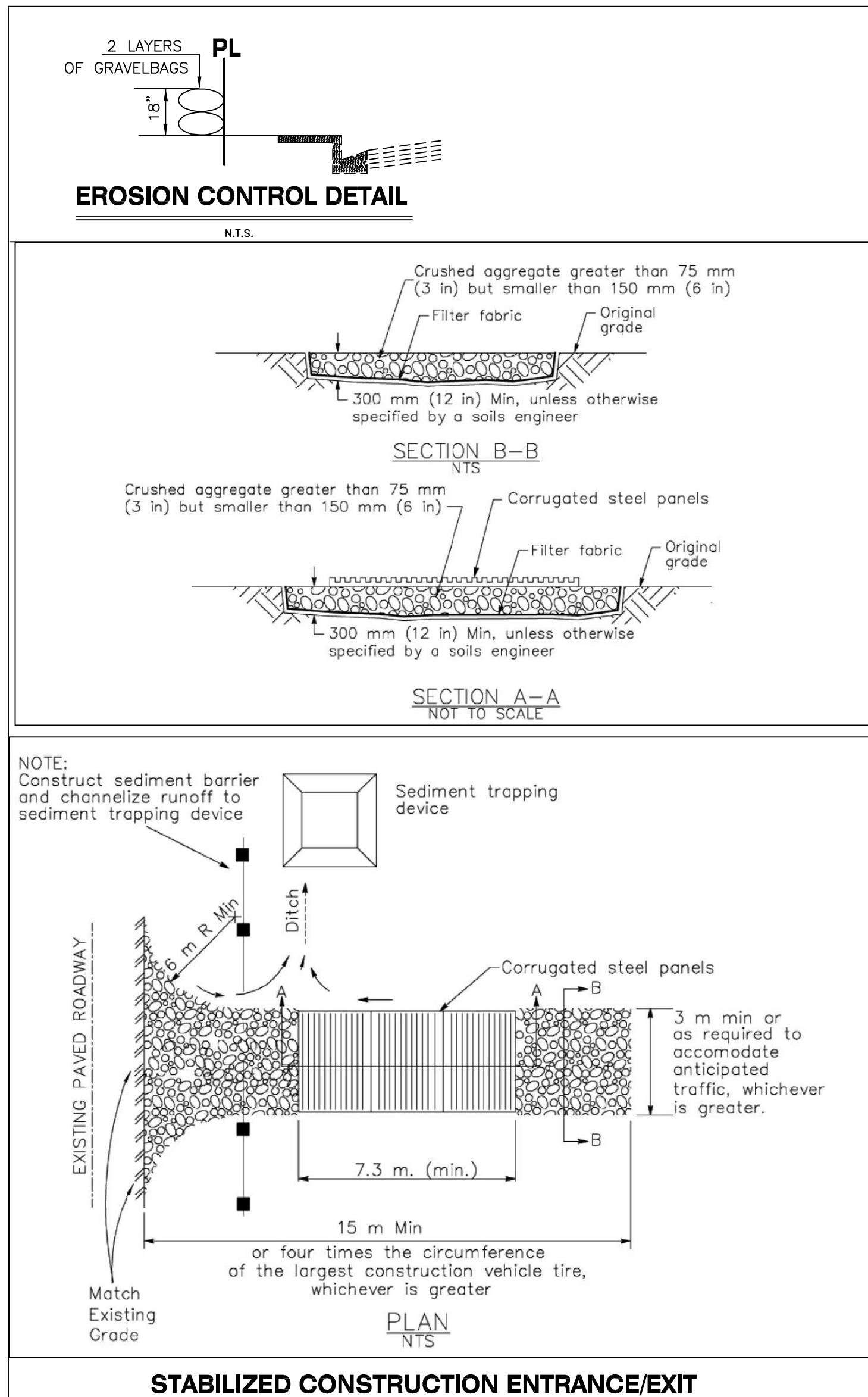
COUNTY OF RIVERSIDE  
 DEPARTMENT OF BUILDING AND SAFETY  
 APPROVED  
**11/20/2023**  
 REVIEWED BY: SALEEM BAIG  
 Approval of these plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the state or county laws. This set of plans must be kept on the job until completion.



**EROSION CONTROL NOTES**

- EROSION CONTROL IS REQUIRED FOR GRADING OPERATION ON A YEAR ROUND BASIS. APPROVED PLANS ARE REQUIRED FOR ALL WORK REQUIRING A GRADING PERMIT.
- IN CASE OF EMERGENCY CALL MR. JOHN RUSSO AT (951) 836-0530.
- THE ENGINEER OF RECORD WILL SUPERVISE EROSION CONTROL WORK AND ENSURE THAT WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
- COUNTY APPROVAL OF PLANS DOES NOT RELIEVE THE DEVELOPER FROM RESPONSIBILITY FOR THE CORRECTION OF ERROR AND OMISSION DISCOVERED DURING CONSTRUCTION. UPON REQUEST, THE REQUIRED PLAN REVISION SHALL BE PROMPTLY SUBMITTED TO THE PUBLIC WORKS DIRECTOR FOR APPROVAL.
- THE PUBLIC WORKS DIRECTOR RESERVES THE RIGHT TO MAKE CHANGES OR MODIFICATIONS TO THIS PLAN AS DEEMED NECESSARY.
- STANDBY CREW FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. NECESSARY MATERIALS SHALL BE AVAILABLE ON THE SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) OR TO REPAIR ANY DAMAGED BMPs WHEN RAIN IS IMMINENT.
- AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE TRANSPORT OF SOIL IN RUNOFF FROM DISTURBED SOIL AREA ON THE CONSTRUCTION SITE AT ALL TIMES. IN ADDITION, BMPs SHALL BE INSPECTED PRIOR TO PREDICTED STORM EVENTS AND FOLLOWING STORM EVENTS. BMPs SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY INSPECTOR.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%, AS FORECAST BY THE NATIONAL WEATHER SERVICE.
- AFTER A RAIN EVENT EXCEEDING ONE-QUARTER INCH IN ANY 12 HOUR PERIOD, OR UPON DIRECTION OF THE PUBLIC WORKS DIRECTOR, ALL SILT AND DEBRIS SHALL BE REMOVED FROM THE CHECK DAMS, SILT FENCES, AND DESILTING BASINS; AND THE BASIN SHALL BE PUMPED DRY AND RESTORED TO ORIGINAL DESIGN CONDITION. ANY EROSION CONTROL MEASURES DAMAGED DURING A RAIN EVENT SHALL ALSO BE IMMEDIATELY REPAIRED.
- DESILTING BASINS ARE TO BE CONSTRUCTED AS GRADING OF INDIVIDUAL GRADING AREAS ARE COMPLETED PER ROUGH GRADING PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- AREAS SHALL BE MAINTAINED IN SUCH A STATE THAT FIRE ACCESS SHALL BE MAINTAINED AT ALL TIMES (INCLUDING ACCESS TO NEIGHBORING PROPERTIES).
- GRADED AREAS AROUND THE SITE PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- TEMPORARY EROSION PROTECTION IS REQUIRED FOR MANUFACTURED SLOPES PRIOR TO PERMANENT PLANTING.
- ALL DISTURBED SLOPES SHALL BE PLANTED AND PROTECTED WITHIN 45 DAYS OF THE COMPLETION OF EACH STAGE OF GRADING. SUITABLE MEASURES TO PREVENT SLOPE EROSION INCLUDING, BUT NOT LIMITED TO, RAPID GROWTH VEGETATION SUFFICIENT TO STABILIZE THE SOIL, SHALL BE INSTALLED ON ALL DISTURBED AREAS UNTIL SUCH TIME AS THE PERMANENT VEGETATIVE COVER SUFFICIENTLY MATURES TO PROVIDE PERMANENT STABILITY.
- NO OBSTRUCTION OR DISTURBANCE OF NATURAL DRAINAGE COURSE OR EXISTING STORM DRAIN INLET SHALL OCCUR DURING GRADING OPERATIONS, UNLESS ADEQUATE TEMPORARY/PERMANENT DRAINAGE FACILITIES HAVE BEEN APPROVED AND INSTALLED TO CARRY SURFACE WATER TO THE NEAREST PRACTICAL STREET, STORM DRAIN OR NATURAL WATER COURSE. ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST BE MAINTAINED IN A STATE TO ALLOW FOR CONTINUOUS FUNCTION.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN SUCH A MANNER THAT STORM RUNOFF WILL BE CONTAINED WITHIN THE PROJECT OR CHANNELLED INTO THE STORM DRAIN SYSTEM WHICH SERVES THE RUNOFF AREA. STORM RUNOFF FROM ONE AREA NOT BE ALLOWED TO DIVERT TO ANOTHER RUNOFF AREA.
- CONFORMANCE WITH THE REQUIREMENTS OF THESE PLANS SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITIES TO THIS SITE AND ADJACENT PROPERTIES. DURING GRADING OPERATIONS, TEMPORARY DRAINAGE CONTROL SHALL BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO ADJACENT PROPERTIES. TEMPORARY DRAINAGE CONTROL SHALL CONSIST OF, BUT NOT BE LIMITED TO, CONSTRUCTING SUCH FACILITIES AND TAKING SUCH MEASURES AS ARE NECESSARY TO PREVENT, CONTROL AND ABATE WATER, MUD AND EROSION DAMAGE TO PUBLIC AND PRIVATE PROPERTY AS A RESULT OF THE CONSTRUCTION OF THE PROJECT.
- FILL AREAS WHILE BEING BROUGHT UP TO GRADE AND DURING PERIOD OF COMPLETION PRIOR TO FINAL GRADE, SHALL BE PROTECTED BY VARIOUS MEASURES TO ELIMINATE EROSION AND THE SILTATION OF DOWNSTREAM FACILITIES AND ADJACENT AREAS. THESE MEASURES MAY INCLUDE, BUT SHALL NOT BE LIMITED TO: TEMPORARY DOWN DRAIN, EITHER IN THE FORM OF PIPES OR PAVED DITCHES TO DESILT RUNOFF; PROTECTION SUCH AS SAND BAGS AROUND INLETS WHICH HAVE NOT BEEN BROUGHT UP TO GRADE; AND EARTH BERMS AND APPROPRIATE GRADING TO DIRECT DRAINAGE AWAY FROM THE EDGE OF THE TOP OF SLOPES SHALL BE CONSTRUCTED AND MAINTAINED ON THOSE FILL AREAS WHERE EARTHWORK OPERATIONS ARE NOT IN PROGRESS.
- CLEARING AND GRUBBING SHOULD BE LIMITED TO AREAS THAT WILL RECEIVE IMMEDIATE GRADING. EROSION CONTROL MEASURES WILL BE REQUIRED TO PROTECT AREAS WHICH HAVE BEEN CLEARED AND GRUBBED PRIOR TO GRADING OPERATION, AND WHICH ARE SUBJECT TO RUNOFF DURING A RAIN EVENT. THESE MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO: GRADED DITCHES; BRUSH BARRIERS AND SILT FENCES. CARE SHALL BE EXERCISED TO PRESERVE VEGETATION BEYOND LIMITS OF GRADING.
- CONSTRUCTION SITES SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREA THROUGH PHASING AND SCHEDULING OF GRADING TO THE EXTENT FEASIBLE AND THE USE OF TEMPORARY AND PERMANENT SOIL STABILIZATION.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE TO STREET, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT WIND OR RUNOFF DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE TO STREET, DRAINAGE FACILITIES OR ADJOINING PROPERTIES.

- DISCHARGES OTHER THAN STORM WATER (NON-STORM WATER DISCHARGES) ARE PROHIBITED, EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT. THE STATEWIDE GENERAL PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY, OR OTHER APPLICABLE GENERAL NPDES PERMIT. POTENTIAL POLLUTANT INCLUDE BUT ARE NOT LIMITED TO: SOLID OR GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZER, WOOD PRESERVATIVES, AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS, FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM STREET CLEANING; SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING; AND RUNOFF FROM EQUIPMENT AND VEHICLE WASHING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ONSITE PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- PAVED STREETS, SIDEWALKS AND OTHER IMPROVEMENTS SHALL BE MAINTAINED IN A NEAT AND CLEAN CONDITION, FREE OF LOOSE SOIL, CONSTRUCTION DEBRIS AND TRASH. STREET SWEEPING OR OTHER EQUALLY EFFECTIVE MEANS SHALL BE USED ON A REGULAR BASIS TO CONTROL SILT THAT HAS BEEN DEPOSITED ON STREETS OR SIDEWALKS. WATERING SHALL NOT BE USED TO CLEAN STREET.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCES BY DOWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DOWATERING ACTIVITIES MAY REQUIRE A NPDES PERMIT FROM THE SANTA ANA REGIONAL BOARD.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.



CONSTRUCTION NOTES:	QUANTITIES
① - INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT PER DETAIL HEREON	1 EA
② - INSTALL SANDBAG BARRIER SE-8 PER CASQA BMP HANDBOOK.	430 LF
③ - INSTALL CONCRETE WASTE MANAGEMENT WM-8 PER CASQA BMP HANDBOOK.	1 EA

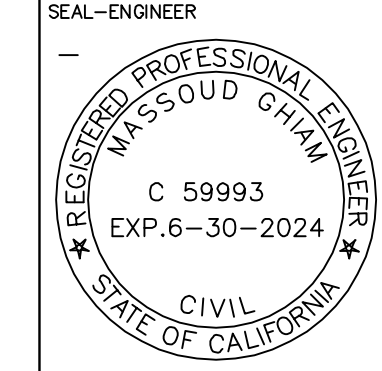
**UNDERGROUND SERVICE ALERT**  
 CALL: TOLL FREE  
 1-800-422-4133  
 TWO WORKING DAYS BEFORE YOU DIG

NOTE:  
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

MARK	BY	DATE	REVISIONS	APPR. DATE	COUNTY

MARK	BY	DATE	REVISIONS	APPR. DATE	COUNTY

SEAL—ENGINEER  
 GRADING DISTURBANCE CALC.  
**SEE SHEET 1 OF 3**



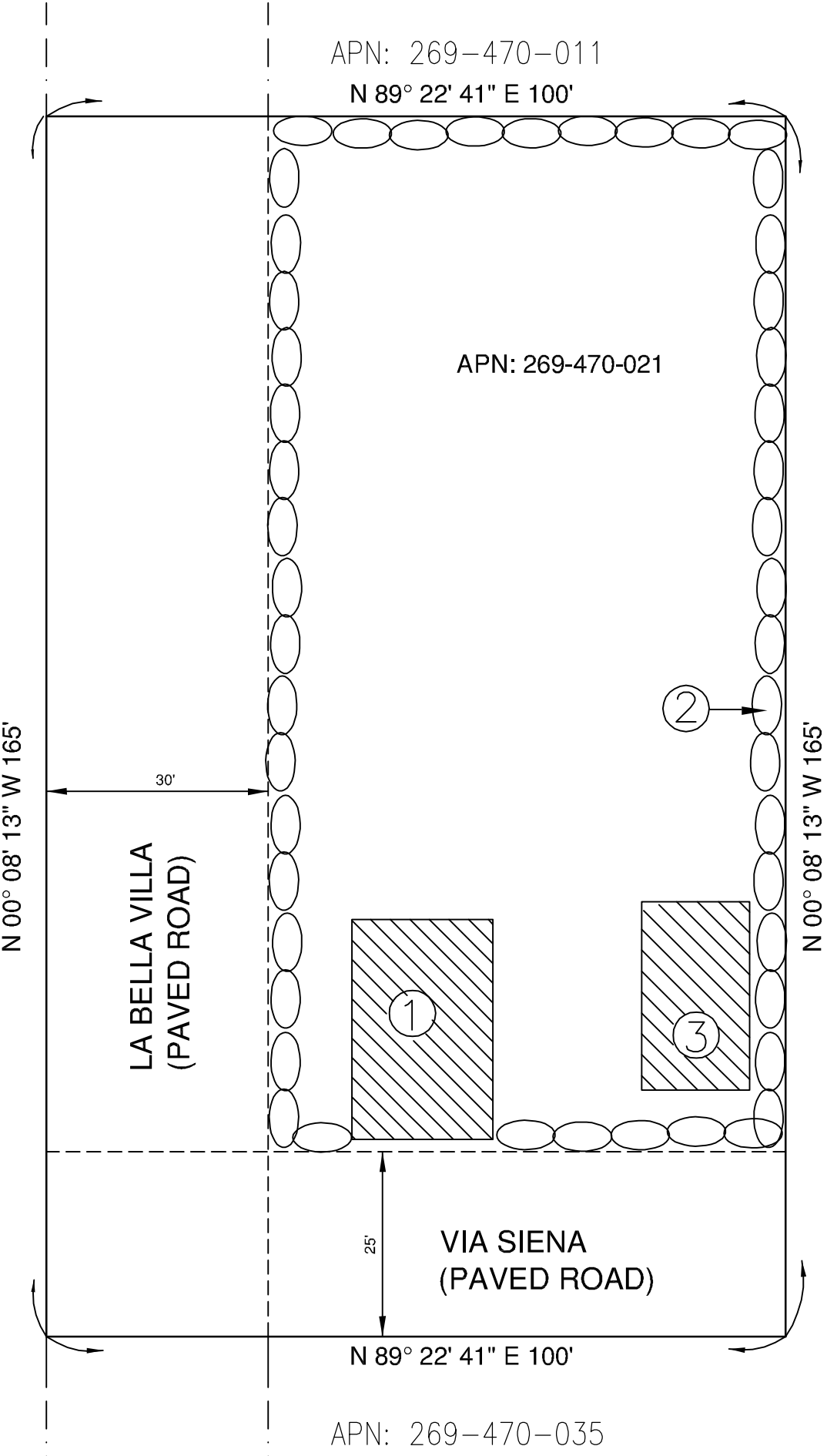
ENGINEER OF WORK  
 MASSOUD GHIAM  
 24 OAKHURST RD  
 IRVINE, CA 92620  
 (949) 307-5410  
 MASSOUDG98@YAHOO.COM  
 11-08-2023  
 MASSOUD GHIAM  
 RCE 59993, EXP. 6-30-2024

BENCHMARK:  
 RIVERSIDE COUNTY #ML87  
 A BASS DISK, STAMPED ML 87 1971 SET IN THE TOP OF CONCRETE POST 3" ABOVE GROUND. ALONG LA SIERRA AVE, 2.5 MILES FROM INTERSECTION OF LA SIERRA AVE/VICTORIA ST., 250' SOUTH OF EL SOBRANTE, 200' EAST OF LA SIERRA AVE. ELV: 1266.566

DRAWN	
CHECKED	M. G.
SCALE	AS SHOWN
JOB NUMBER	
DATE	

**COUNTY OF RIVERSIDE**  
**EROSION CONTROL PLAN**  
 APN: 269-470-021  
 16810 LA BELLA VILLA  
 RIVERSIDE, CA 92503

SHEET NO.	3
OF 3 SHEETS	
FILE NO.	



COUNTY OF RIVERSIDE  
 DEPARTMENT OF  
 BUILDING AND SAFETY  
 APPROVED  
 11/20/2023  
 REVIEWED BY: SALEEM BAIG  
 Approval of these plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the state or county laws. This set of plans must be kept on the job until completion.  
**ACKNOWLEDGEMENT ONLY**

BWL 2101670  
 BGR 2100061  
 BMP 2100056