

### WALL LEGEND

(---) INDICATES: (E) WALL TO REMAIN
(---) INDICATES: (E) WALL TO BE REMOVED
(---) INDICATES: (E) 6'-0" HT. WOOD FENCE TO REMAIN
(---) INDICATES: (E) 4' BLOCK WALL TO REMAIN

**CITY NOTES:**

- PROVIDE PORTABLE TOILET AND HAND WASH STATION PER OSHA REGULATIONS. CONSTRUCTION WORKERS CAN USE THE RESTROOMS INSIDE HOUSE.
- HOUSE NUMBERS SHALL BE MOUNTED TO THE HOUSE AND SHALL BE VISIBLE AND LEGIBLE FROM THE STREET IN A CONTRASTING COLOR 4" TALL MIN.
- SPECIAL INSPECTOR SHALL REGISTER W/ THE CITY.

STORM WATER DRAINING GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'

**GENERAL NOTES:**

- ALL DOORS & WINDOWS SHALL MEET RIVERSIDE SECURITY ORDINANCE.
- APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE (RIBS.3.2 CRC).
- EVERY PERMIT ISSUED SHALL BECOME VALID UNLESS WORK AUTHORIZED IS COMPLETED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN ONE (1) EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY A REACTIVATION FEE OF APPROXIMATE 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAD BEEN EXPIRED FOR UP TO SIX (6) MONTHS. WHEN A PERMIT HAD BEEN EXPIRED FOR A PERIOD IN EXCESS OF ONE (1) YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATE 100% OF THE ORIGINAL PERMIT FEE (RIBS.5 CRC).
- EFFECTIVE JAN 1, 2014, SB 401 REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.

**NOTE #1:** APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (RIBS.3.2 CRC)

**NOTE #2:** A CONSTRUCTION WASTE MANAGEMENT PLAN WILL BE REQUIRED TO BE INITIATED PRIOR TO PERMIT ISSUANCE. DOCUMENTATION OF COMPLIANCE WITH THE CONSTRUCTION WASTE MANAGEMENT PLAN IS REQUIRED TO BE SUBMITTED PRIOR TO CERTIFICATE OF OCCUPANCY. THE CONSTRUCTION WASTE MANAGEMENT PLAN MUST BE FINALIZED PRIOR TO OCCUPANCY PER GEC 4.408.2

**EXISTING CONDITIONS**

ALL DIMENSIONS & INFORMATION SHOWN ON THE PLANS RELATIVE TO EXISTING CONDITIONS ARE GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY.

**DEMOLITION NOTES**

ALL DEMOLITION SHALL BE CARRIED ON IN SUCH A WAY AS NOT TO DAMAGE EXISTING ELEMENTS, WHICH ARE TO BE IN THE FINISHED STRUCTURE. EXISTING MEMBERS SHALL NOT BE CUT OR NOTCHED, UNLESS NOTED OTHERWISE. EXISTING STRUCTURAL ELEMENTS SHALL BE PROTECTED TO THE FULLEST EXTENT POSSIBLE IN ORDER TO MITIGATE DAMAGE.

**LIQUEFACTION ZONE NOTE:**  
THE SITE IS IN A HIGH LIQUEFACTION ZONE

**DEMOKEYED NOTES**

1	(E) GARAGE DOOR TO BE REMOVED
2	(E) STORAGE WATER HEATER TO BE RELOCATED

**KEYED NOTES**

1	(E) ELECTRICAL MAIN PANEL
2	(E) AC UNIT
3	(E) WATER METER
4	(E) GAS METER
5	(E) SEWER MANHOLE
6	(E) 4" DIA. SEWER LINE
7	(N) 4" DIA. SEWER LINE
8	(E) 1" DIA. GAS LINE (V.I.F.)
9	(N) 3/4" DIA. GAS LINE

**SERVICE LEGEND**

1	(N) POINT OF CONNECTION (P.O.C.) @ GROUND LEVEL, CONTRACTOR TO VERIFY EXISTING SEWER AND COMPLY WITH 1/2" METER AND STREET SERVICE PER (TABLE 610.4 CFC).
2	(N) POINT OF CONNECTION (P.O.C.) @ GROUND LEVEL, CONTRACTOR TO VERIFY EXISTING GAS LINE AND COMPLY WITH STREET SERVICE.

### DRAWING INDEX

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- GRN-1 GREEN BUILDING NOTES
  - GRN-2 GREEN BUILDING NOTES
- STRUCTURAL**
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- TITLE 24**
- T24-1 TITLE 24 COMPLIANCE FORMS
- DEFERRED SUBMITTALS**

### ABBREVIATIONS

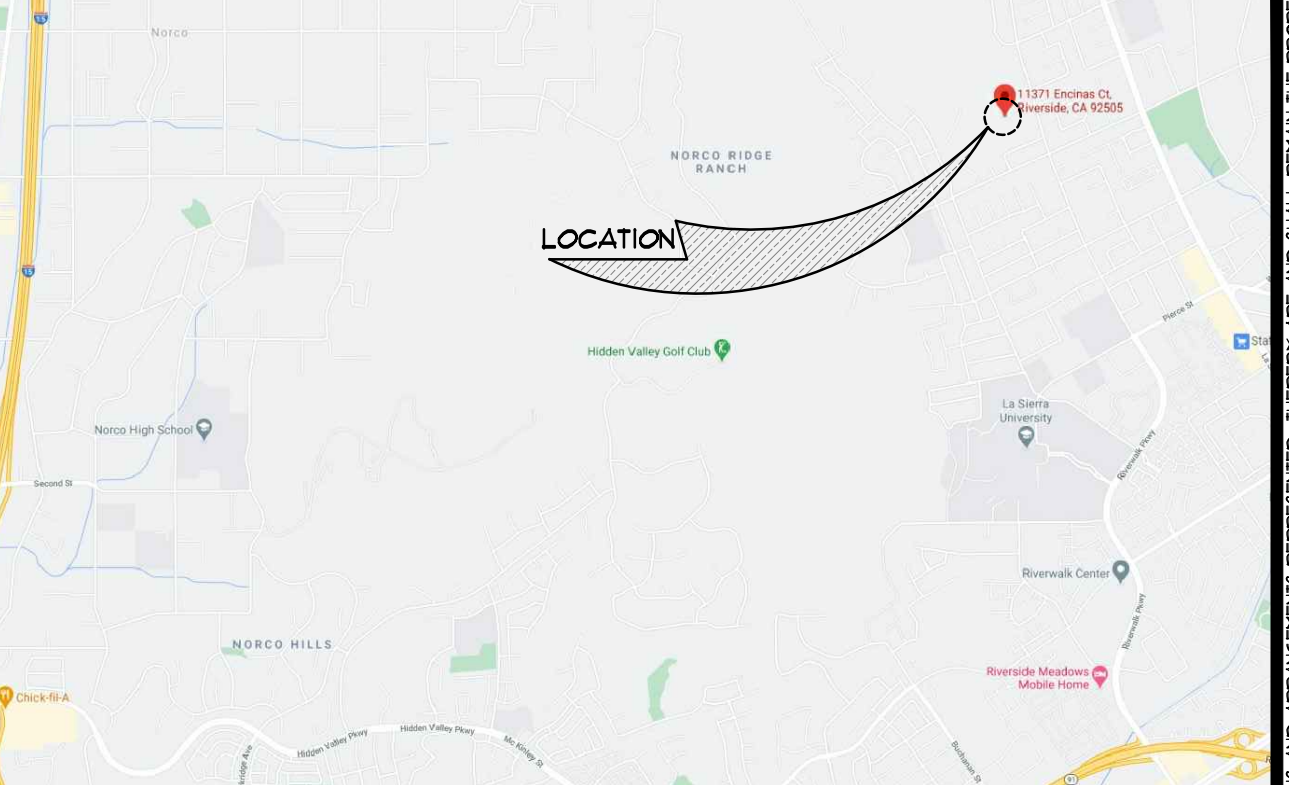
ABV	ABOVE	FUR	FURNACE	91M	SIMILAR
BLW	BELOW	GA	GAGE	9TL	STEEL
(E) EXIST	EXISTING	OC	ON CENTER	STOR	STORAGE
(N)	NEW	OD	OVERFLOW DRAIN	STRUC	STRUCTURAL
(D)	DEMOLITION	OPNG	OPENING	STRUC	STRUCTURAL
(R)	REPLACED	OPPS	OPPOSITE	SYM	SYMMETRICAL
DBL	DOUBLE	OPT.	OPTION	STAGGD	STAGGERED
BLD	BUILDING	OPTN	OPTIONAL	T4B	TOP 4 BOTTOM
FX	FIXED	MTL/MET	METAL	TEMP	TEMPERED
CSMT	CASEMENT	PARTN	PARTITION	TC	TOP OF CURB
CLSD	CLOSED	FL	FLOOR	TS	TOP OF SURFACE
C	CONTINUOUS	FT	FEET	T&G	TONGUE & GROOVE
CLG	CEILING	(RL)	RELOCATED	THK	THICK
CABINETS	CABINETS	(R)	REMOVE	THRU	THROUGH
DUGS	DUGS	RD	ROOF DRAIN	TYP	TYPICAL
DRYER	DRYER	RFTR	RAFTER	UNO	UNLESS NOTED
WASHER	WASHER	REF	REFERENCE	UNO	UNLESS NOTED
DOOR	DOOR	REIN	REINFORCEMENT	VERT	VERTICAL
DISHWASHER	DISHWASHER	REQD	REQUIRED	W	WITH
CASEMENT	CASEMENT	RDG	RIDGE	W/C	WATER CLOSET
FIRE PLACE	FIRE PLACE	S	SHOWER	WC	WOOD
FLOOR DRAIN	FLOOR DRAIN	SC	SOLID CORE	WD	WATER HEATER
FLOOR SINK	FLOOR SINK	SECT	SECTION	W/C	WALK-IN CLOSET
FIXED	FIXED	SHT	SHEET	W/O	WITHOUT
SOLID CORE	SOLID CORE	SHTG	SHEETING	W/D	WASHER & DRYER
SINGLE HUNG	SINGLE HUNG				
HOLLOW CORE	HOLLOW CORE				

### CONSULTANTS

**DESIGNER**

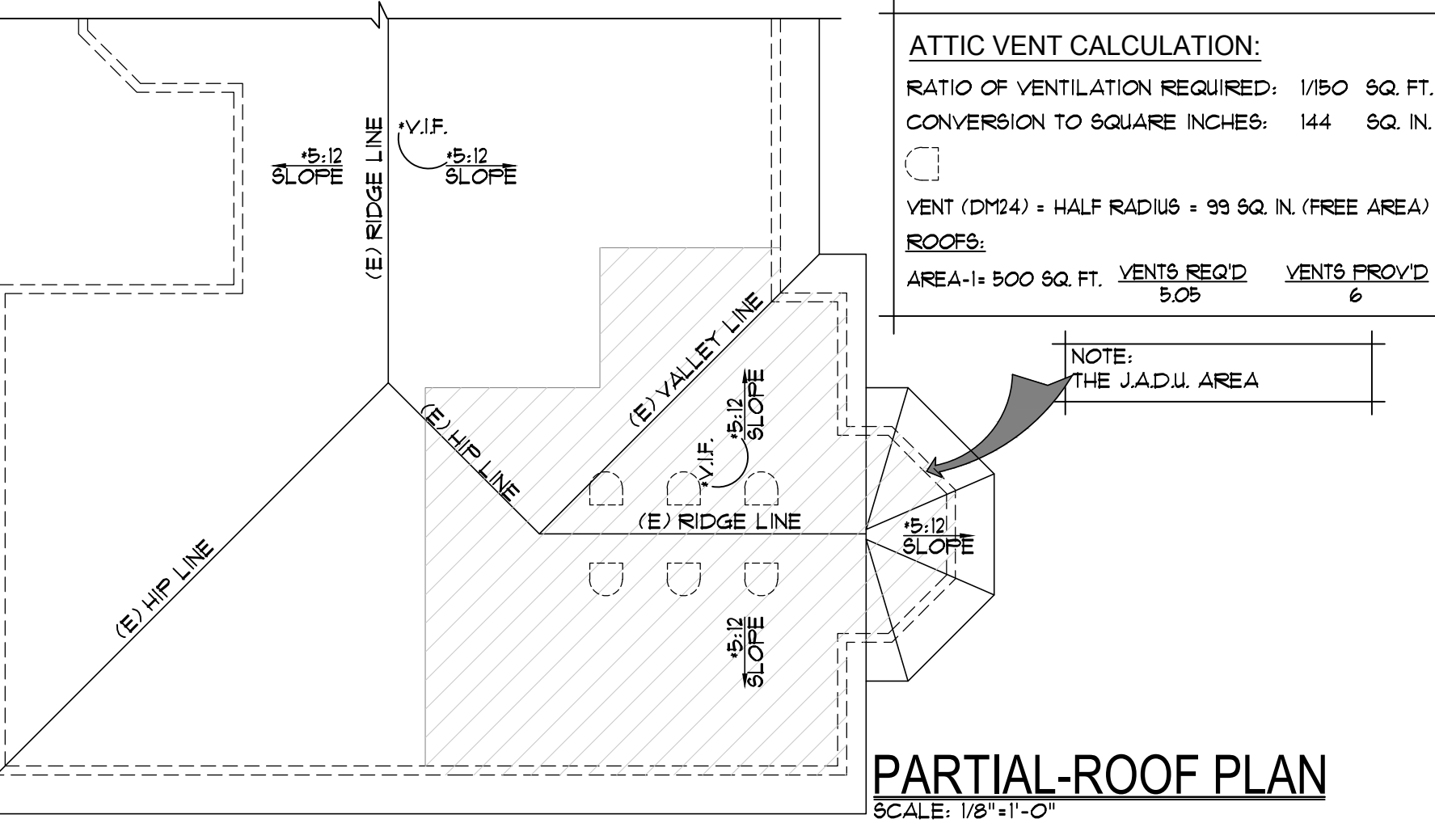
CORONA DESIGN, LLC  
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 EMAIL: BCDDESIGNER@GLOBALNET  
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### NEIGHBORHOOD MAP



### GENERAL ROOF NOTES

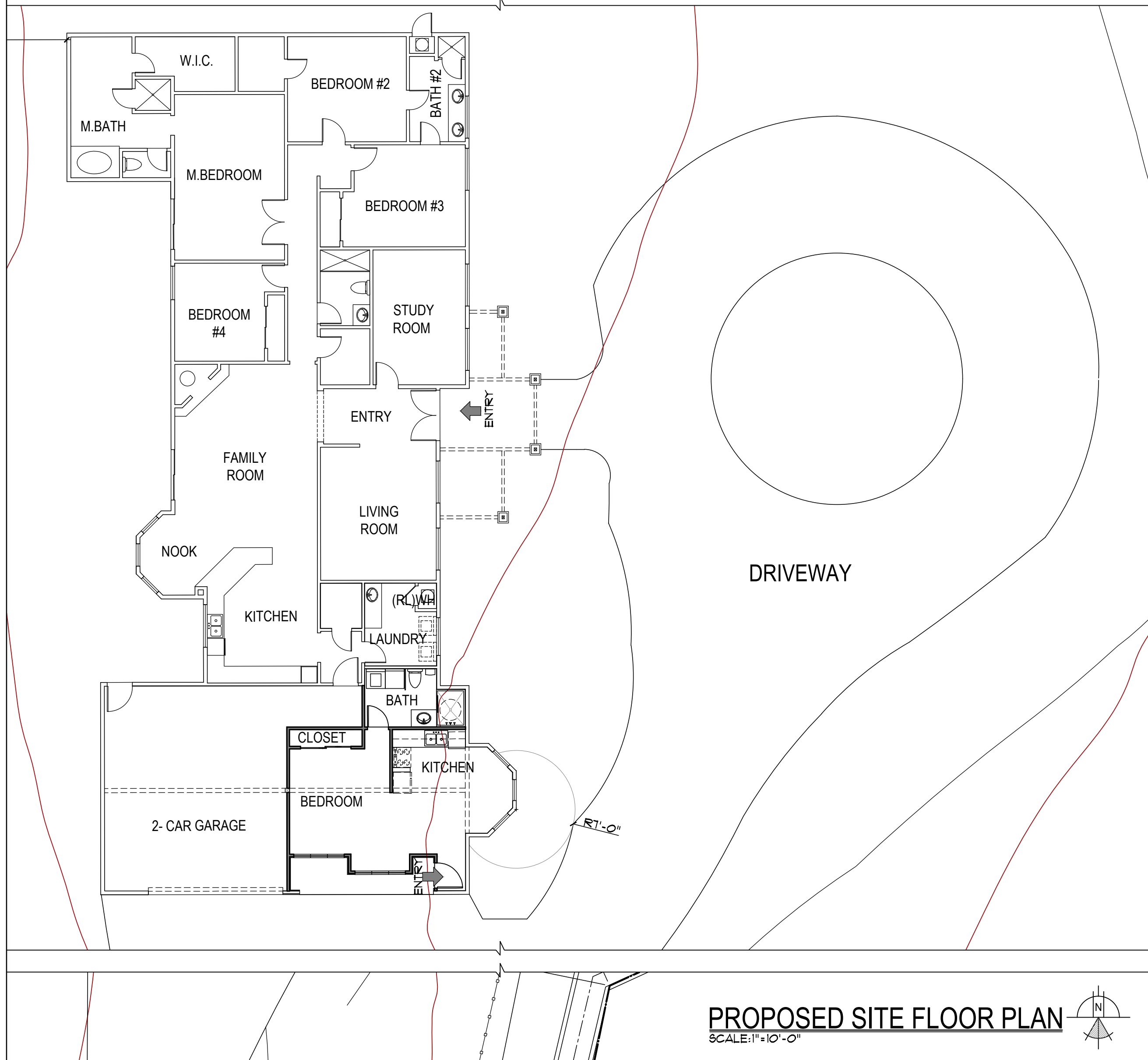
- PAINT ALL VENT STACK PIPES & FLASHING TO MATCH ROOF.
- CONTRACTOR SHALL MINIMIZE ALL ROOF PENETRATIONS. ANY PENETRATION THAT IS REQUIRED SHALL BE DONE ON THE BACK SIDE OF THE ROOF. NO ITEMS SHALL BE SEEN FROM THE FRONT OR SIDE OF THE BUILDING.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL FLASHING, COUNTER FLASHING WATER DIVERSION AND SEALING OF ROOF FOR A WATER TIGHT INSTALLATION.
- FIELD PROTECTION MUST BE PROVIDED BY THE GENERAL CONTRACTOR AT JOB SITE SO MATERIALS ARE NOT EXPOSED TO WEATHER AND MOISTURE.
- FLASHING (FACTORY FABRICATED OR LOCALLY FABRICATED) UNLESS OTHERWISE SPECIFIED. ALL EXPOSED ADJACENT FLASHING SHALL BE OF THE SAME MATERIAL AND FINISH AS PANEL SYSTEM.



### ROOF LEGEND

(---) INDICATES: (E) ROOF AREA

**NOTE:** ANY NEW ROOFS SHOULD MATCH THE EXISTING MAIN



### GENERAL NOTES

- CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE BUILDING CODES CBC 2019 AND OTHER APPLICABLE LOCAL ORDINANCES & STATES AMENDMENTS, REGULATIONS, DRAWINGS AND GENERAL NOTES CONTAINED HEREIN.
- THE CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AND CONDITIONS OF SITE AND SHALL NOTIFY TO ARCHITECT, DESIGNER OR OWNER OF ANY OMISSIONS, CONFLICTS OR DISCREPANCIES BEFORE PROCEEDING WITH THE START OF WORK.
- THE CONTRACTOR SHALL FURNISH AND BE FULLY RESPONSIBLE FOR ALL BARRICADES OR ADEQUATE SHORING, BRACING AND PROTECTIVE MEASURES TO SAFELY EXECUTE THE WORK.
- THE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF WATER, VENT AND DRAIN INSTALLATIONS, AND OTHER REQUIRED SERVICES WITH EQUIPMENT MANUFACTURE WHENEVER APPLICABLE IN THE SITE.
- UNLESS OTHERWISE SHOWN OR NOTED, TYPICAL DETAILS AND GENERAL NOTES SHALL BE USED WHENEVER APPLICABLE.
- PATCH, REPAIR AND REFINISH ALL EXISTING SURFACES DAMAGED BY THIS WORK TO MATCH ADJACENT SURFACES AND FINISHES.
- WHERE NEW ROOF OPENINGS AND PENETRATIONS OCCUR THROUGH EXISTING ROOF, PATCH AND REPAIR ROOF AS REQUIRED TO PROVIDE A WATER TIGHT CONDITION IN ACCORDANCE WITH THE ROOF MANUFACTURER'S GUARANTEE.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY PRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIAL OR WASTE WATER GENERATED ON CONSTRUCTION SITE OR BY CONSTRUCTION SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS IN ACCORDANCE WITH ALL DRAWINGS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT SITE.
- COMPLETION OF ALL THE WORK DONE, CONSTRUCTION AREAS SHALL BE LEFT VACUUM CLEAN AND FREE FROM DEBRIS.

### PROJECT DATA

<b>OWNER:</b>	IVAN NAVARRO 11371 ENCINAS CT. RIVERSIDE, CA 92505 TEL. (951) 354-1999 EMAIL: ivan@riversiderco1.com	<b>LEGAL DESCRIPTION:</b>	APN 168110008 TRACT NO. LOT NO. LOT SIZE 331927.2 SF ZONING
<b>PROJECT ADDRESS:</b>	11375 ENCINAS CT RIVERSIDE, CA 92505 RIVERSIDE COUNTY, CALIFORNIA	<b>SCOPE OF WORK:</b>	THIS WORK CONSISTS OF CONVERTING 2-CAR GARAGE INTO JUNIOR ADU APPROX. 500 SQ. FT.

### BUILDING ANALYSIS

BUILDING	OCCUPANCY TYPE	CONSTRUCTION TYPE	FIRE SPRINKLERED	BUILDING AREA (APPROX.)	NUMBER OF FLOORS
6FD	R3/U	TYPE V-B	YES	2,780 SF-EXIST. FLOOR	1
6FD	R3/U	TYPE V-B	YES	500 SF-NEW JADU	1
				516 SF-EXIST. 2-CAR GARAGE	

### APPLICABLE CODES

- ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWINGS:
- (IBC) INTERNATIONAL BUILDING CODE EDITION 2018
- (CBC) CALIFORNIA BUILDING CODE 2019
- (CRC) CALIFORNIA RESIDENTIAL CODE EDITION 2019
- (CMC) CALIFORNIA MECHANICAL CODE EDITION 2019
- (CFC) CALIFORNIA PLUMBING CODE EDITION 2019
- (CEC) CALIFORNIA ELECTRICAL CODE EDITION 2019
- (CES) CALIFORNIA ENERGY EFFICIENCY STANDARDS 2019
- (NFPA) FIRE SPRINKLERS 13
- (FC) CALIFORNIA FIRE CODE 2019
- (CGBSC) CALIFORNIA GREEN BUILDING STANDARDS CODE 2019
- AND AS AMENDED BY CITY ORDINANCE

### SYMBOLS

- WINDOW REFERENCE
- SECTION REFERENCE
- DETAIL NUMBER
- REVISION
- DOOR REFERENCE
- KEY NOTE DESCRIPTION
- KEY NOTE FOR COLOR/MATERIAL
- DIRECTION OF PICTURE TAKEN REFER TO PHOTO SHEET LAYOUT

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**PROPOSED CONVERTING 2-CAR GARAGE INTO JADU FOR NAVARRO RESIDENCE**  
 11375 ENCINAS DR  
 RIVERSIDE, CA 92505

**SITE/DEMO & PROPOSED FLOOR PLANS**

NO.	DATE	REVISIONS
1	11.23.22	

DATE: 11.23.22  
 JOB NO.: 22.3301N  
 DRAWN: YA  
 CHECKED: BC

SHEET 01 OF 07

**A - 1**