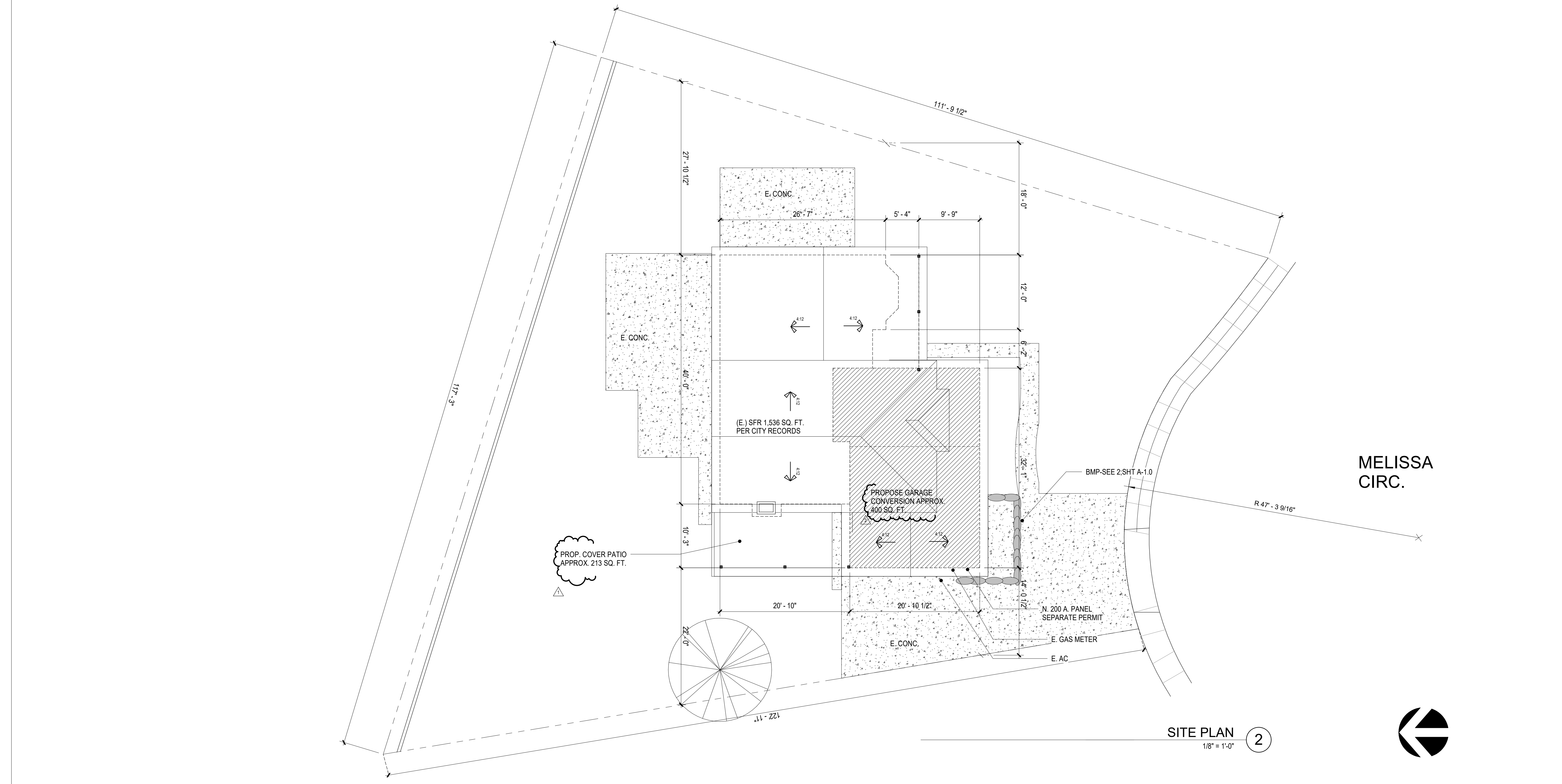


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LICENSE 859608

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13066 5TH ST.
CHINO, CA 91710
PHONE: 909.214.9459
FAX: 909-461-4507

ISSUE NAME:	
REVISION:	DATE
1	9.18.2024
2	6.16.2025

ROMANS RESIDENCE

Owner: ERIQUE ROMAN
9247 MELISSA CIRC.
JURUPA VALLEY, CA
Tel. 909.456.4777

TITLE SHEET

DATE: MAY. 17, 2024
SCALE: As indicated
DWG/CHECK BY: Author

A-1.0

STUDIO 4X4 PROJECT NUMBER: 050.04

ARCHITECTURAL KEYNOTES	BMP DET.	VECINITY MAP	PROJECT INFO.	SCOPE OF WORK	SHEET INDEX
<div><div>1</div><div>E. 4:12 MIN. SLOPED ROOF W/ CLASS "A" CONC TILE O/ (2) LAYERS 15# FELT PAPER.</div></div> <div><div>2</div><div>AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING</div></div> <div><div>3</div><div>THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCE ETC.) OR TO THE LOCATION OF A HOOK- UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THIS LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES</div></div> <div><div>4</div><div>STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE.</div></div> <div><div>5</div><div>APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAIN SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH PER FIRE CODE 505.1 (R319)</div></div>	<div><div>TWO ROWS OF SAND BAGS</div><div>FINISH GRADE</div></div>	<div><div></div></div>	<div><div>PROJECT ADDRESS: 9247 MELISSA CIRC. JURUPA, CA 92509</div><div><div>PROJECT INFO:</div><div>A.P.N.: 170360005</div><div>ZONE: R-3</div><div>TRACT: 14098</div><div>LOT: 5</div><div>BLK: NONE</div><div>PARCEL AREA: 9,583.2 SQ.FT.(0.22 ACRES), PER COUNTY RECORDS</div></div><div><div>LOT DATA</div><div><div>SINGLE FAMILY HOUSE</div><div>R-3 OCCUPANCY</div><div>CONSTRUCTION TYPE: V-B</div><div>NO. OF STORIES: 2</div><div>BUILDING HEIGHT: 21'-3"</div><div>FIRE SPRINKLERS: NO</div><div>(E)RESIDENCE:</div><div>FIRST FLOOR PLAN 1211SQ.FT.</div><div>SECOND FLOOR PLAN 740 SQ.FT.</div><div>(N) 2-CAR GARAGE CONVERSION: 400 SQ. FT.</div><div>R-3 OCCUPANCY TOTAL: 2351 SQ.FT</div><div>E. PORCH 95 SQ.FT.</div><div>TOTAL UNOCCUPIED SPACE: 95 SQ. FT.</div><div>LOT SIZE: 9,583.2 SQ. FT.</div><div>LOT COVERAGE (max. 40%) = 24.5 % LESS THAN REQUIRE FAR 15.5%</div></div></div></div>	<div><div>SCOPE OF WORK:</div><div>GARAGE CONVERSION TO A MASTER ROOM AND A MASTER BATH APPROXIMATELY 400 SQ. FT. WILL NEED TO DEMO GARAGE DOOR AND RE-FILL TO MATCH EXISTING STUCCO. NEW COVER PATIO PER CITY STANDARDS. APPROX. 213 SQ. FT.</div></div> <div><div>CODE INFO.</div><div>MUST COMPLY WITH APPLICABLE CODES OF 2022</div><div>2022 Title 24 includes twelve parts: 2022 California Building Code 2022 California Residential Code 2022 California Fire Code 2022 California Historical Building Code 2022 California Existing Building Code 2022 California Electrical Code 2022 California Plumbing Code 2022 California Mechanical Code 2022 California Green Building Standards Code (CAL Green) 2022 California Administrative Code 2022 California Refereneed Standards Code City of Jurupa Valley Municipal Code</div></div>	<div><div>ARCHITECTURAL</div><div>A-1.0 Title Sheet A-1.1 Notes A-2.0 Green Notes A-2.1 Existing 1st Floor Plan A-2.2 Proposed 1st Floor Plan A-2.3 Existing 2nd Floor Plan A-3.1 Existg Elevations A-4.1 Arch. Details</div></div> <div><div>STRUCTURAL</div><div>S-1.0 SECTIONS S-2.1 FOUNDATION PLAN S-3.1 FRAMING PLAN-F.F. 1 S-4.1 FRAMING PLAN-F.F. 2 T-1.0 TITLE-24 T-2.0 TITLE-24 T-3.0 TITLE-24</div></div>



California Green Building Standards Code:

Residential Mandatory Measures Requirements for (R-3) SFD

All newly constructed single family dwellings (SFD) and any addition or alteration to an existing single family dwelling which proposes to increase the dwellings conditioned area, volume, or size shall fully comply with the adopted California Green Building Standards Code and the items described in this checklist. These requirements apply only to the specific area of addition or alteration for existing dwellings.

Building Permit Number: _____ Site Address: _____ 9247 MELISSA CIRC. JURUPA,CA

Section	Green Mandatory Measures
Division 4.1	Planning & Design: Site Development
4.106.2	Storm water drainage and retention during construction: Projects which disturb less than one acre of soil and are not part of a larger common development shall manage storm water drainage during construction in accordance with this code and State law.
4.106.3	Grading and paving. Site grading or drainage systems will manage all surface water flows to keep water from entering buildings.
4.106.4	Electric vehicle charging for new one- and two-family dwellings with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit (nominal 1-inch inside diameter) that originates at the main service or subpanel and terminates into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. The service panel or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. The service panel or subpanel shall be permanently labeled to identify the breaker space as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".
Division 4.2	Energy Efficiency
4.201.1	Scope. This project shall comply with all applicable energy efficiency requirements as set forth in the most recent version of the California Energy Code. Energy calculations and forms shall be included as part of the plans and drawings.
Division 4.3	Water Efficiency & Conservation
4.303.1	Indoor water use. Plumbing fixtures and fittings shall comply with the following and shall be shown on the construction documents:

	Fixture Type	Maximum Flow Rate	
	Shower Head	2.8 GPM @80 psi	
	Kitchen Faucet	1.8 GPM @60 psi	
	Lavatory Faucet	1.2 GPM @60 psi	
	Water Closet	1.28 gallons per flush	
	Urinal	0.125 gallons per flush	
4.304.1	Outdoor potable water use in landscape areas. New residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following options: a. A local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWEL0), whichever is more stringent; or b. Projects with aggregate landscape areas less than 2,500 square feet may comply with the MWEL0's Appendix D Prescriptive Compliance Option.		
Division 4.4	Material Conservation & Resource Efficiency		
4.406.1	Rodent proofing: Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the city building inspector.		
4.408.1	Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either CAL Green Section 4.408.2 Waste Management Plan, 4.408.3 Waste Management Company or 4.408.4 Waste Stream Reduction Alternative. A City approved waste management company/hauler shall be used for recycling of construction waste. Documentation of compliance with Section 4.408.1 shall be provided to the Authority Having Jurisdiction prior to project final approval.		
4.410.1	Operation and Maintenance manual. The builder shall prepare an Operation and Maintenance Manual as outlined in Cal Green Section 4.410.1. The manual shall be given to the owner upon final approval by the building inspector. In such case where the property is being sold, it should be given to the new owner at the time of sale. A copy of the manual shall be available for the inspector prior to, or at the time of final inspection.		
Division 4.5	Environmental Quality		
4.503.1	Fireplaces. Any installed gas fireplace shall be of the direct vent, sealed combustion type. New wood burning fireplaces are not permissible in accordance with AQMD Rule 445.		
4.504.1	HVAC system protection. During the construction process and until final startup of the HVAC system, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other method to reduce the amount of water, dust and debris which may enter the system.		
4.504.2	Finish material pollutant control. Finish materials shall comply with the following:		
4.504.3	a. Adhesives, sealants and caulks used on this project shall comply with SCAQMD Rule 1168 for VOC limits and toxic compounds. Aerosol adhesives, sealants and caulks shall comply with statewide VOC standards.		
4.504.4	b. Paints and coatings shall comply with VOC limits in Cal Green Table 4.504.3.		
4.504.5	c. Aerosol paints and coatings shall comply with statewide requirements and other requirements noted in Cal Green Section 4.504.2.3.		

	d. Carpet systems. All carpeting and carpet cushions shall meet the requirements of the Carpet and Rug Institute Green Label program. Carpet Adhesives shall comply with VOC limits in Cal Green Table 4.504.1. e. Resilient flooring. Where installed, 80% of the floor area receiving resilient flooring shall comply with one or more of the standards listed in Cal-Green Section 4.504.4. f. Composite wood products used on the interior or exterior of the building shall comply with the formaldehyde limits per Cal-Green Table 4.504.5. Verification of compliance with the standards listed above shall be provided upon request to the building inspector.
4.505.1 4.505.2 4.505.3	Interior moisture control. Buildings shall meet or exceed the provisions of the California Building Code. a. Concrete Slab foundations. Concrete Slab-on grade foundations/floors that are required to have a vapor retarder by California Building Code Section 1907 or California Residential Code Section R506, shall have a capillary break installed between the concrete slab and supporting grade. b. Building materials with visible signs of water damage shall not be installed. Wall and floor framing lumber shall not be enclosed when the framing members exceed 19-percent moisture content. Moisture content shall be verified using one of the methods listed in Cal Green Section 4.505.3. c. Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities.
4.506.1	Indoor air quality and exhaust. Each bathroom (a room which contains a bathtub, shower, or tub/shower combination) shall be mechanically ventilated and shall comply with the following: <ul style="list-style-type: none">Exhaust fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control.Humidity controls shall be capable of adjustment between 50% and 80% relative humidity. Humidity control may utilize manual or automatic means of adjustment which may be a separate component to the exhaust fan (not required to be built-in).
4.507	HVAC system design. HVAC systems shall be sized, designed and have equipment selected using the methods listed in Cal Green Section 4.507.2.

Designer's Declaration Statement	Builder's Declaration Statement
I hereby certify as the designer of record that the proposed building plans meet the requirements of the California Green Building Standards Code.	I hereby certify as the builder or installer of record under the permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.
Name: VALENTE GONZALEZ	Name: _____
Address: 13066 5TH ST. CHINO,CA 91710	Address: _____
Signature:	Signature: _____
Date: 09.29.2023	Date: _____ License #: _____

BEST MANAGEMENT PRACTICES
FOR CONSTRUCTION ACTIVITES*

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Development Construction Projects/Certification Statement

The following is intended as minimum notes or as an attachment for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)

- Every effort should be made to eliminate the discharge of non-stormwater from the project site at all times.
- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.

"I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, to the best of my knowledge and belief, the information submitted is true, accurate, and complete. I am aware that submitting false and/or inaccurate information, failing to update the ESCP to reflect current conditions, or failing to properly and/or adequately implement the ESCP may result in revocation of grading and/or other permits or other sanctions provided by law."

Print Name _____ (Owner or authorized agent of the owner)

Signature _____ Date _____ (Owner or authorized agent of the owner)

*The above Best Management Practices are detailed in the latest edition of the California BMP Handbook or Caltrans Stormwater Quality Handbooks.

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PHONE: 909.214.9459
FAX: 909.461-4507

ISSUE NAME:	
REVISION:	DATE
1	9.18.2024
2	6.16.2025

ROMANS
RESIDENCE

Owner: ERIQUE ROMAN

9247 MELISSA CIRC.
JURUPA VALLEY, CA
Tel. 909.456.4777

GREEN NOTES

DATE: MAY. 17, 2024

SCALE:

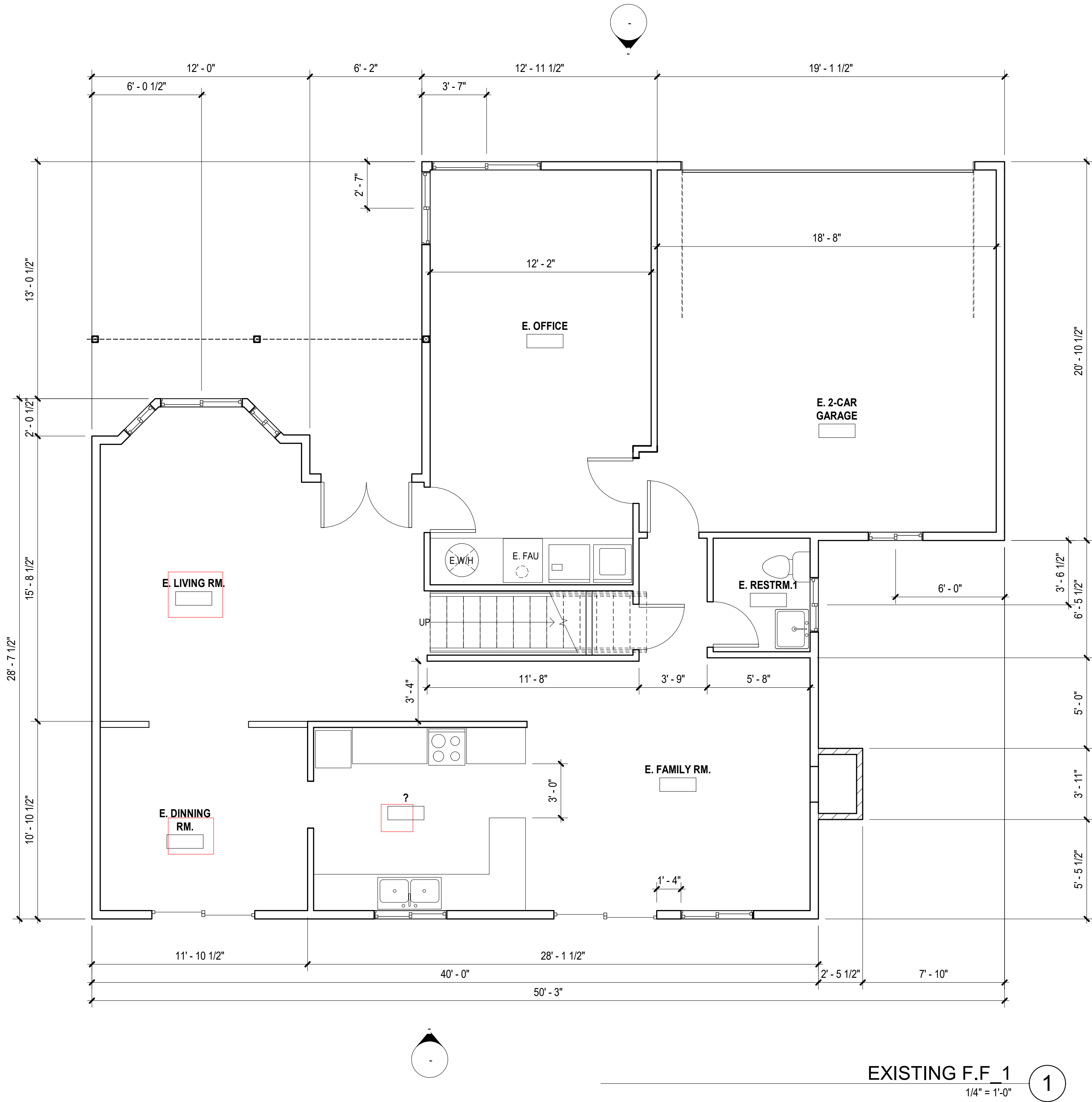
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A-2.0

STUDIO 4X4 PROJECT NUMBER 050.04

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KEYNOTES



44

STUDIO

DESIGN & CONSTRUCTION

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PHONE: 909.214.9459
FAX: 909.461.4507

ISSUE NAME:	
REVISION:	DATE
△	

ENRIQUES

RESIDENCE

Owner: ENRIQUE ROMAN
9247 MELISSA CIRC.
JURUPA VALLEY ,CA 92509

EXISTING FLOOR PLAN

DATE: MAY, 17, 2024
SCALE: 1/4" = 1'-0"
DWG/CHECK BY: Author

A-2.1

STUDIO 4X4 PROJECT NUMBER: 050.04

rcp/ electrical notes

Smoke detectors shall be provided as follows: 91.310.9.1.3,4

A) Smoke detectors shall be provided for all dwellings units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding on thousand dollars(\$1,000), (R314.6.2)

B) In existing construction smoke detectors may be battery operated, installed in location as specified in A) above.

C) Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with section R315.2 carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (315.2.2)

1. All branch circuits that supply 125 volt, single phase, 15 & 20 ampere receptacle outlets installed in bedrooms shall be protected by an arc-fault circuit interrupter(s)-CEC-2022

2. Provide smoke detectors in all existing offices and hallways. they may be battery operated.

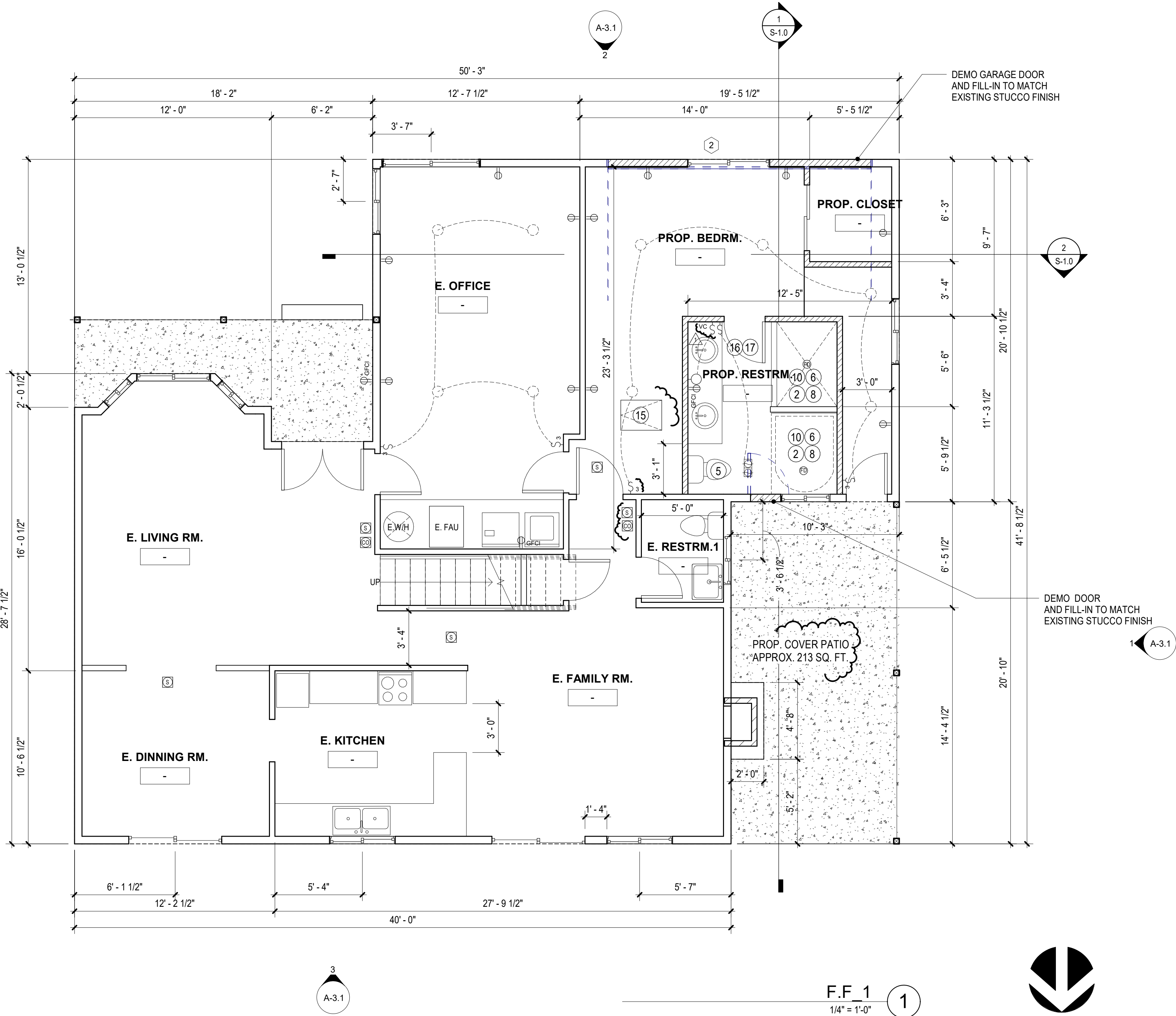
3. All electrical is to be installed per 2022 CEC.

4. Hallways, in dwelling units, hallways of 3.0 m (10 ft.) or more in length shall have at least one receptacle outlet. (CEC-2022)

5. Comply with mandatory measures attached- see 2022 mf-1r on sheet T-2.0

6. ALL 120-Volt, single-phase, 15 and 20- Ampere branch circuits supplying outlets(not just receptacles) and utilization devices installed in dwelling units(including kitchens,dining rooms, closets, hallways, sunrooms, laundry, living rooms, dens, bedrooms) shall be protected by a listed arc-fault circuit interrupter, combination type, installed to provide protection of the branch circuit.CEC 210.12(A)

7. Each bathroom containing a bathtub, shower or tub/shower, combination shall be mechanically ventilated for purposes of humidity control. (R 303.3.1)



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ISSUE NAME:	
REVISION:	DATE
1	9.18.2024
2	6.16.2025

ROMANRESIDENCE

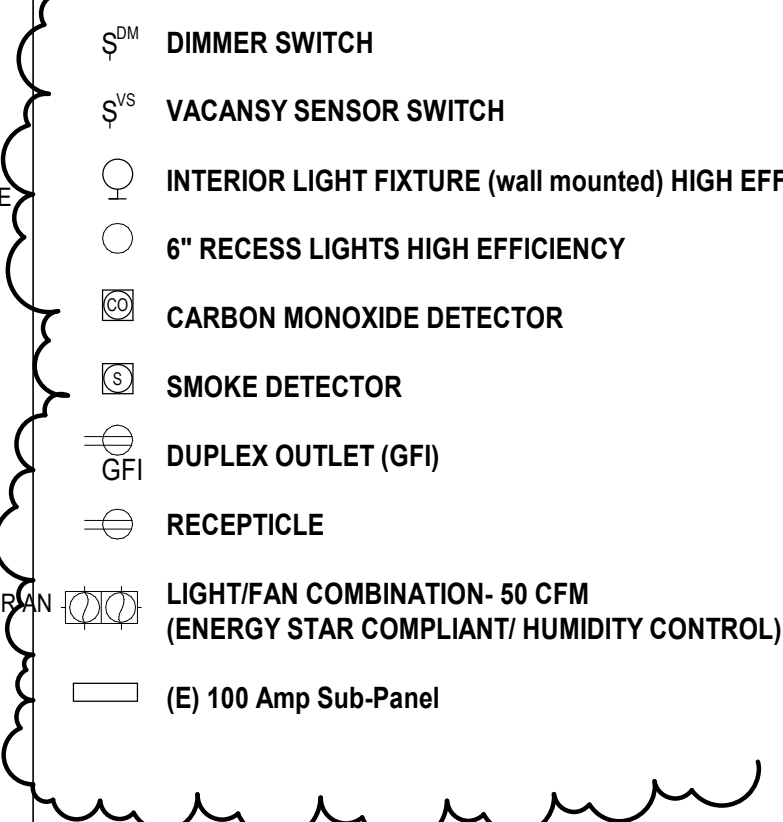
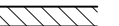
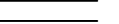












Owner: ERIQUE ROMAN
9247 MELISSA CIR.
JURUPA VALLEY,CA
Tel. 909.456.4777

PROP. 1ST FLOOR PLAN

DATE: MAY. 17, 2024
SCALE: As indicated
DWG/CHECK BY: Author

A-2.2

STUDIO 4X4 PROJECT NUMBER 050.04

KEYNOTES		ELECTRICAL SYMB.	PLAN LEGEND	Window Schedule							
1	E. AC		 NEW 2X4 STUD WALL  EXISTING WALLS TO REMAIN	Mark	Width	Height	Frame Material	Glazing Type	SHGC	U-Value	Comments
2	WALL COVERING OF SHOWERS OR TUBS WITHIN SHOWERS SHALL BE OF CEMENT PLASTER, TILE OR APPROVED EQUAL, TO A HEIGHT OF NOT LESS THAN 72-IN. ABOVE DRAIN INLET. (1210.3)			 ONE WAY SWITCH							
3	EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT CANDLES OVER AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL			 THREE WAY SWITCH							
4	IN EVERY BEDROOM AND BASEMENT, PROVIDE ONE OPENABLE ESCAPADE WINDOW MEETING ALL OF THE FOLLOWINGS: A) AN OPENABLE AREA OF NOT LESS THEAN 5.7 SQ.FT. B) A MINIMUM CLEAR HEIGHT OF 24" C) A MINIMUM CLEAR WIDTH OF 20" D) A SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR.			 DIMMER SWITCH							
5	PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.			 VACANSY SENSOR SWITCH							
6	SHOWER STALL TO BE 1024 SQUARE INCHES MIN. INTERIOR AND ENCOM-PASS A 30" CIRCLE			 INTERIOR LIGHT FIXTURE (wall mounted) HIGH EFFICIENCY							
7	BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THEN 6 FT. ABOVE THE FLOOR (R307.2)			 6" RECESS LIGHTS HIGH EFFICIENCY							
8	PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)			 CARBON MONOXIDE DETECTOR							
9	ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYP VALVE (PC 418).			 SMOKE DETECTOR							
10	SINGLE SHOWERHEADS: ≤ 1.8 GPM @ 80 PSI, PER 2019 CGBSC 4.303.1.3			 DUPLEX OUTLET (GFI)							
11	KITCHEN FAUCETS: ≤ 1.8 GPM @60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8GPM, PER 2013 CGBSC 4.303.1.4.4	 RECEPTICLE									
12	PROVIDE RANGE HOOD CAPABLE OF PROVIDING 100 CFM. DUCTED TO TERMINATE OUTSIDE THE BUILDING	 LIGHT/FAN COMBINATION- 50 CFM (ENERGY STAR COMPLIANT/ HUMIDITY CONTROL)									
13	MIN. 1 GFCI ELECT. OUTLET PER COUNTER SPACE OVER 12" IN WIDTH. MAX. 48" BETWEEN OUTLETS @ COUNTER WALLS.	 (E) 100 Amp Sub-Panel									
14	PROVIDE FLOURECENT OR LED LIGHTING FIXTURES PER 2019 N.E.C.										
15	(E) MIN. 22"x30" ATTIC ACCES										
16	HUMIDISTAT SENSOR IN RESTROOM										
17	EXHAUST TO FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. LIGHTING INTEGRAL TO AN EXHAUST FAN MAY BE ON THE SAME SWITCH AS THE FAN PROVIDED THE LIGHTING CAN BE SWITCHED OFF WHILE ALLOWING TH FAN TO CONTINUE TO OPARATE FOR AN EXTENDED PERIOD OF TIME. (150)(K)2B CEC)										

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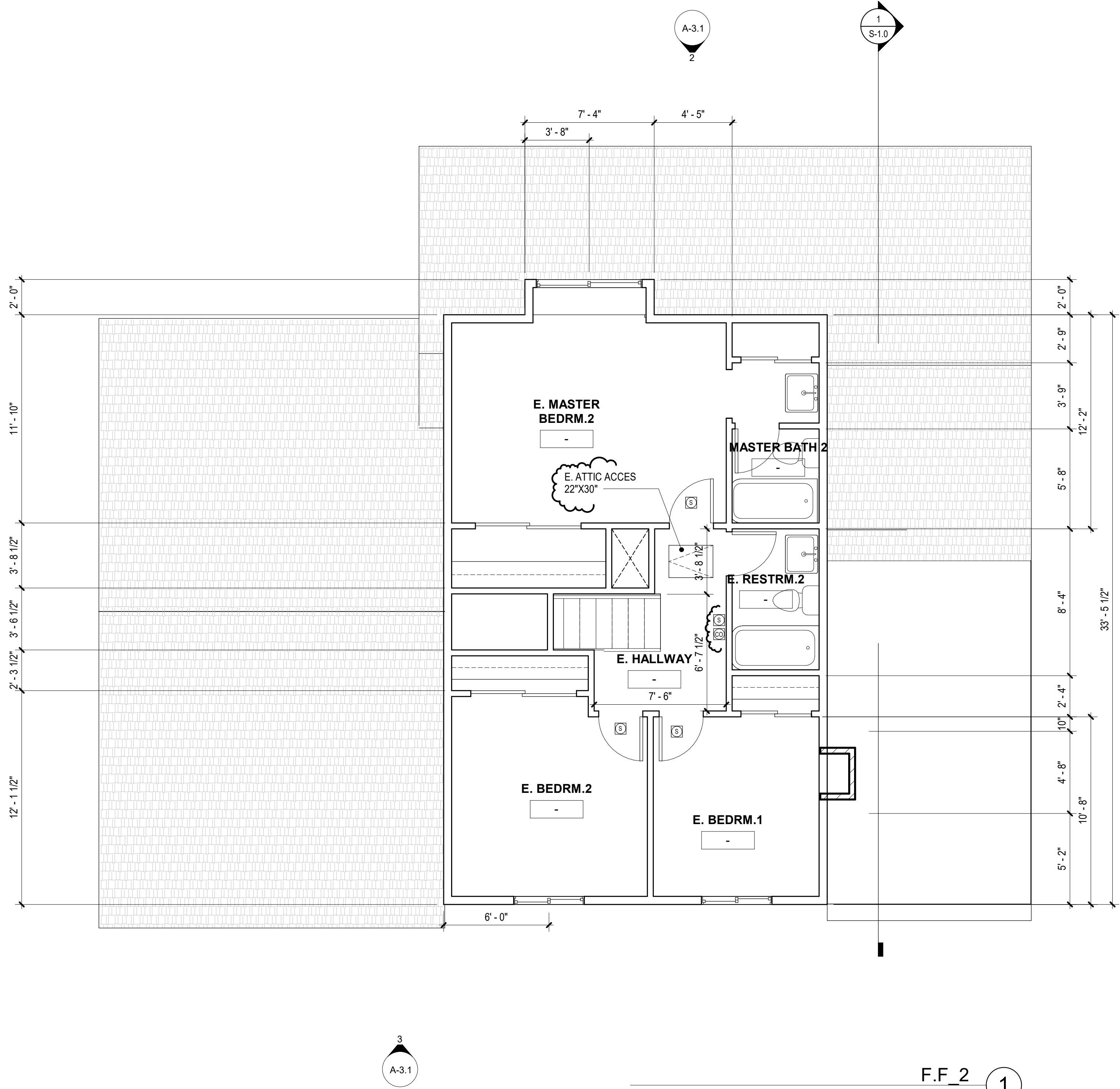
KEYNOTES

ELECTRICAL SYMB.

- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

PLAN LEGEND

- NEW 2X4 STUD WALL
- EXISTING WALLS TO REMAIN



F.F. 2
1/4" = 1'-0"

1

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ISSUE NAME:	
REVISION:	DATE
1	09.18.2024

Owner: ERIQUE ROMAN
9247 MELISSA CIRC.
JURUPA VALLEY, CA
Tel. 909.456.4777

E. 2ND FLOOR PLAN

DATE: MAY, 17, 2024
SCALE: As indicated
DWG/CHECK BY: Author

A-2.3

STUDIO 4X4 PROJECT NUMBER: 050.04

ALL ARE SHINGLES ARE
EXISTING 4:12 MIN. SLOPED
ROOF W/ CLASS "A" COMP.
ASPHALT

T.O.R. 2
21' - 3"

T.O.P. 2
17' - 0"

EXISTING 14.5"x24.5" GABLE
VENT BY CONSTRUCTION
METAL INC. @ 1 SQ.FT. EACH=2
SQ.FT.

MODE-F.F. 2
9' - 0"

T.O.P. 1
8' - 0"

F.F. 1
0' - 0"

WEST ELEV.

1/4" = 1'-0"

1

ALL ARE SHINGLES ARE
EXISTING 4:12 MIN. SLOPED
ROOF W/ CLASS "A" COMP.
ASPHALT

T.O.R. 2
21' - 3"

T.O.P. 2
17' - 0"

EXISTING 12"x 12" SQUARE METAL ROOF
VENT BY CONSTRUCTION METAL INC.
@ 51 SQ. IN. EACH OR APROV. SYM. TYP.
INSTALL PER MANUF. REC.

MODE-F.F. 2
9' - 0"

T.O.P. 1
8' - 0"

F.F. 1
0' - 0"

NORTH ELEV.

1/4" = 1'-0"

3

EXISTING 12"x 12" SQUARE METAL ROOF
VENT BY CONSTRUCTION METAL INC.
@ 51 SQ. IN. EACH OR APROV. SYM. TYP.
INSTALL PER MANUF. REC.

T.O.R. 2
21' - 3"

T.O.P. 2
17' - 0"

T.O.R. 1
14' - 1 3/8"

MODE-F.F. 2
9' - 0"

T.O.P. 1
8' - 0"

F.F. 1
0' - 0"

SOUTH ELEV.

1/4" = 1'-0"

2

ALL ARE SHINGLES ARE
EXISTING 4:12 MIN. SLOPED
ROOF W/ CLASS "A" COMP.
ASPHALT

T.O.R. 2
21' - 3"

T.O.P. 2
17' - 0"

T.O.R. 1
14' - 1 3/8"

MODE-F.F. 2
9' - 0"

T.O.P. 1
8' - 0"

F.F. 1
0' - 0"

EAST ELEV.

1/4" = 1'-0"

4

ATTIC VENT CALC

ATTIC VENTS CAL :
REQUIRED: 706 SQ.FT. / 150 SQ.FT. = 4.7 SQ.FT. X 144= 676.8 SQ.IN.
PROVIDED:
(3) 24" DORMER VENTS BY CONSTRUCTION METAL INC. @ 0.695 SQ.FT. EACH= 2.1 SQ.FT.

(6) EY145"14X5" UNDEREAVE VENTS BY CONSTRUCTION METAL INC. @ 0.56 SQ.FT. EACH=3.36 SQ.FT.
TOTAL ATTIC VENT PROVIDED =5.46 SQ.FT. >4.7 SQ.FT. REQ.

NOTE

OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8"
MINIMUM AND 1/4" MAXIMUM OPENING.

A MINIMUM OF 1" AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING



www.4x4studio.com

13066 5TH ST.
CHINO, CA 91710
PHONE: 909.214.9459
FAX: 909-461-4507

ISSUE NAME:

REVISION:	DATE
1	9.18.2024
2	6.16.2025

ROMANS RESIDENCE

Owner: ERIQUE ROMAN

9247 MELISSA CIR.
JURUPA VALLEY, CA
Tel. 909.456.4777

E. ELEVATIONS

DATE: MAY. 17, 2024

SCALE: 1/4" = 1'-0"

DWG/CHECK BY: Author

A-3.1

STUDIO 4X4 PROJECT NUMBER: 050.04

DIVISION: 09 00 00—FINISHES
Section: 09 30 00—Tiling

REPORT HOLDER:

CUSTOM BUILDING PRODUCTS, INC.
[www.custombuildingproducts.com](#)

EVALUATION SUBJECT:

REDGARD® WATERPROOFING AND CRACK PREVENTION MEMBRANE, C-CURE PRO-RED WATERPROOFING MEMBRANE 963, CBP 232 WATERPROOFING AND ANTI-FRACTURE MEMBRANE AND JAMO® WATERPROOFING MEMBRANE

- 1.0 EVALUATION SCOPE**
- Compliance with the following codes:**
- 2024, 2021, 2018, 2015, 2012, 2009 and 2006 International Building Code® (IBC)
 - 2024, 2021, 2018, 2015, 2012, 2009 and 2006 International Residential Code® (IRC)
 - 2024, 2021, 2018, 2015, 2012, 2009 and 2006 International Plumbing Code® (IPC)
- Compliance with the following standards:**
- AC115, ICC-ES Acceptance Criteria for Waterproof Membranes for Flooring and Shower Liners, approved date June 2003 (editorially revised August 2013)
 - TCNA/ANSI A118.10-2023, Specification for Load Bearing Bonded, Waterproof Membranes for Thin-Set Ceramic Tile and Dimensions Stone Installation

Property evaluated:
Water resistance

2.0 USES

RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane are used on concrete floors, as a barrier to liquid water migration, in bonded, thin-set installations of ceramic tile and dimensional stone under the IBC and IRC. The membranes are also used as a shower sub-pan lining material in accordance with the IPC.

3.0 DESCRIPTION

3.1 General:

RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane are liquid-applied, elastomeric waterproofing materials that cure to form a monolithic membrane.

3.2 Materials:

3.2.1 Membrane: RedGard®, C-Cure Pro-Red, CBP 232 and Jamo® waterproofing membranes are ready-to-use liquids. RedGard® is available in 1-gallon (3.78 L) and 3.5-gallon (13.2 L) pails. C-Cure Red is available in 2-gallon (7.56 L) and 5-gallon (18.9 L) pails. CBP 232 Waterproofing Membrane is available in 1-gallon (3.78 L), 3.5-gallon (13.2 L) and 5-gallon (18.9 L) pails. Jamo® Waterproofing Membrane is available in 1-gallon (3.78 L) and 5-gallon (18.9 L) pails. Shelf life is one year from date of manufacture when the material is stored indoors at room temperature and when the pail is unopened. The liquid material must not be allowed to freeze.

3.2.2 Fiberglass Mesh: The reinforcing mesh is an alkali-resistant fiberglass fabric that is provided in 2-inch-wide-by-50-, 100- and 300-foot-long (51 mm by 15.2, 30.5 and 91.4 m) or 6-inch-wide-by-50-yard-long (152 mm by 45.7 m) rolls for use as reinforcement in corners, change of plane, around drains and over minor substrate cracks.

4.0 INSTALLATION

Installation of RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane must comply with this report and the manufacturer's published installation instructions. The manufacturer's published installation instructions shall be available at the jobsite at all times during installation.

4.1 Surface Preparation:

All exterior and wet areas must be sloped for drainage, with all surfaces structurally sound, clean, dry and free from contaminants that would diminish the bond. Newly prepared concrete shall be cured a minimum of 28 days, and surfaces shall be troweled smooth then textured to a fine broom finish. All existing surfaces shall be flat or leveled when necessary and all defects repaired. All cracks in concrete up to 1/8 inch wide (3.2 mm) shall be pre-filled with the liquid membrane and cured prior to application. The material shall extend beyond both sides of the crack a minimum of the diagonal measurement of the tile or stone. Cracks that are wider than 1/8 inch (3.2 mm) must be treated as expansion joints in accordance with Section 4.3.

Listings are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the listing or a recommendation for its use. There is no warranty by ICC Evaluation Service, LLC, express or implied, as to any finding or other matter in this listing, or as to any product covered by the listing.

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Page 1 of 2

4.2 Membrane Application:

All porous surfaces must be dampened, and a 3/4-inch-wide (19.1 mm), rough-textured synthetic roller, or a 1/2-inch-by-3/16-inch (6.4 mm by 4.8 mm) V-notch trowel, must be used to apply the membrane. On corners where floors and walls meet, a maximum pre-coating of 90 mils [0.090 inch (2.3 mm)] of wet-film thickness is required that will extend up the walls to 6 inches (152 mm) on either side. As an option, a 6-inch-wide (152 mm) section of fiberglass mesh, as described in Section 3.2.2., may be embedded into the membrane at corners or where floors and walls meet. In lieu of the roller or trowel, an airless sprayer may be used. The sprayer must be operated between 1900 and 2300 psi (13.10 and 15.33 MPa) to produce a flow rate of 1.0 to 1.5 gallons (3.78 to 5.68 liter) per minute; the sprayer must have a tip orifice size of 0.025 to 0.029 inch (0.63 to 0.73 mm). A continuous film with overlapping spray must be applied. No seams are permitted. The membrane appears pink when wet and dark red when dry. After the first coat has turned red, with no blushing or light pink showing (approximately 1 1/2 to 2 hours), the film must be visually inspected for integrity, and all voids or pinholes must be filled with additional material. A second coat must be applied at right angles to the first. The film thickness must also be checked periodically with a wet-film gauge. The combined first and second coatings must be a minimum of 50 mils 0.050 inch (1.27 mm) thick when wet and 25 mils [0.025 inch (0.64 mm)] thick when dry. A minimum of sixty minutes of curing time is required after application.

6.0 IDENTIFICATION

Containers of the RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane described in this report are identified by a label bearing the manufacturer's name (Custom Building Products) and address, the product name, the date of manufacture and the evaluation report number (ESR-1413).

6.1 The report holder's contact information is the following:

CUSTOM BUILDING PRODUCTS, INC.
10400 Pioneer Blvd. Unit 3
Santa Fe Springs, CA 90670
(562) 370-6092
[www.custombuildingproducts.com](#)

4.3 Application over Expansion Joints:

The membrane must not be used to bridge expansion joints. When applied over expansion joints, the joint must be cleaned, and an opened or closed-cell backer rod is installed to proper depth as specified by the designer. A sealant must be compressed into the joint, coating the sides and leaving the joint flush with the surface. After the sealant is dry, bond breaker tape specified by the manufacturer must be placed over the joint. Two coats of membrane must be applied at a minimum of 25 mils [0.025 inch (0.64 mm)] wet-film thickness per coat over the joint and substrate following the instructions in Section 4.2 of this report. The tiles or stones are then applied over the membrane, leaving a gap over the joint as specified by the designer. After the work is set, the joint must be filled as specified by the designer.

4.4 Method of Repair:

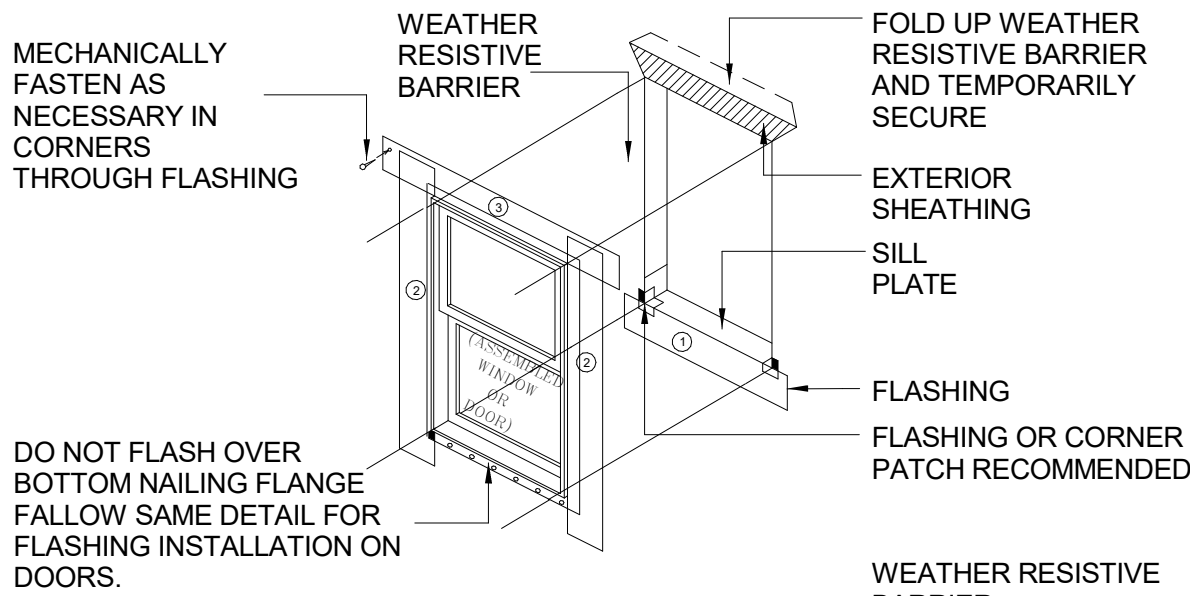
The membrane in the area requiring repair must be removed and the area cleaned, allowing for a minimum 2-inch (51 mm) overlap. Two coats of membrane must be applied as described in Section 4.2 of this report.

5.0 CONDITIONS OF USE

The RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

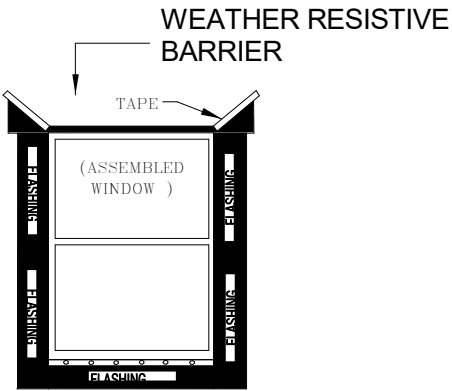
5.1 Application must comply with this report, the manufacturer's published installation instructions and the applicable code. In the event of a conflict between the installation instructions and this report, this report governs.

5.2 Application is limited to ceramic tile and dimension stone installations on floors and for use as shower sub-pans or linings.



HEAD FLASHING TIE-IN INSTRUCTIONS:

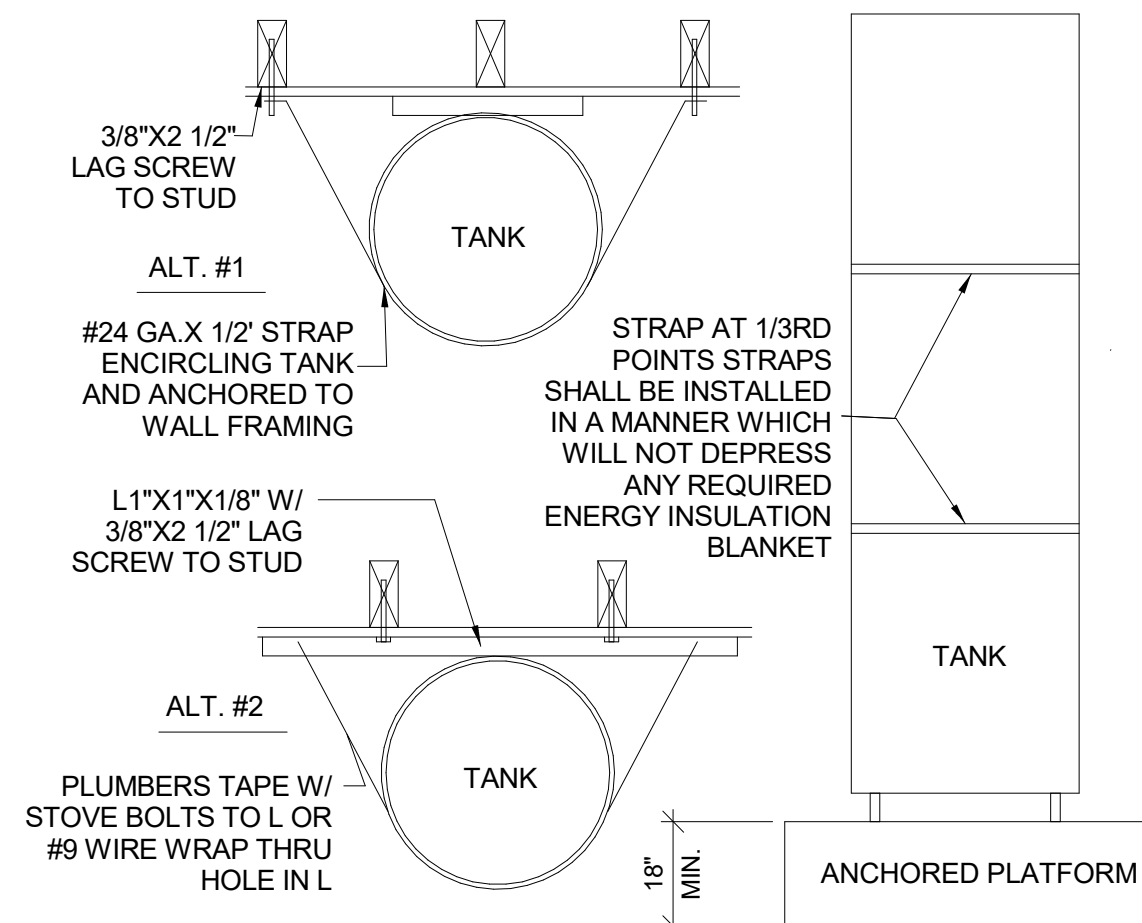
1. CUT, FOLD UP AND TEMPORARILY SECURE WEATHER RESISTIVE BARRIER ABOVE HEADER TO ALLOW FOR FLASHING INSTALLATION
2. INSTALL GRACE VYCOR PLUS HEAD FLASHING UNDER WEATHER RESISTIVE BARRIER ALONG HEADER
3. FOLD WEATHER RESISTIVE BARRIER BACK OVER HEAD FLASHING AND SEAL WITH TAPE AS SHOWN ABOVE



WINDOW AND DOOR FLASHING DET.

1/4" = 1'-0"

1



EXISTING W.H. STRAP

1/4" = 1'-0"

2

ISSUE NAME:

REVISION:	DATE
1	9.18.2024
2	6.16.2025

ROMANS RESIDENCE

Owner: ERIQUE ROMAN

9247 MELISSA CIR.
JURUPA VALLEY, CA
Tel. 909.456.4777

ARCH. DETAILS

DATE: MAY, 17, 2024

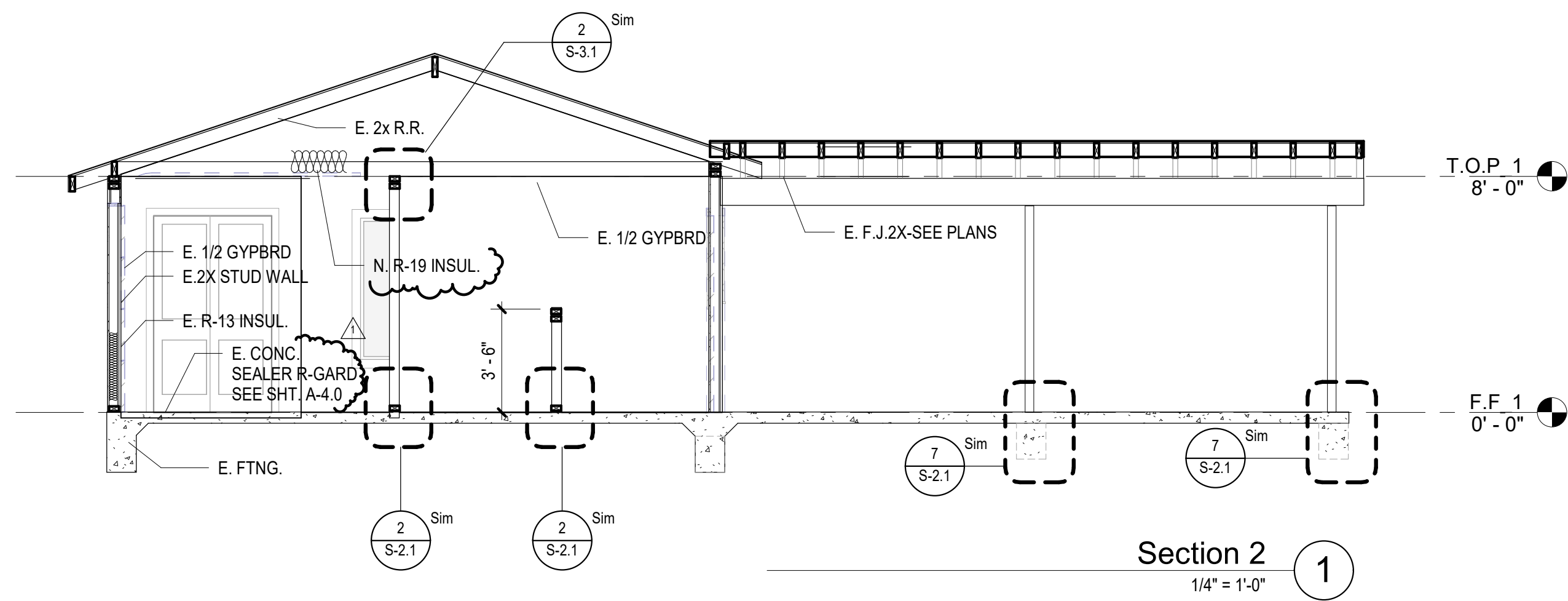
SCALE: 1/4" = 1'-0"

DWG/CHECK BY: Author

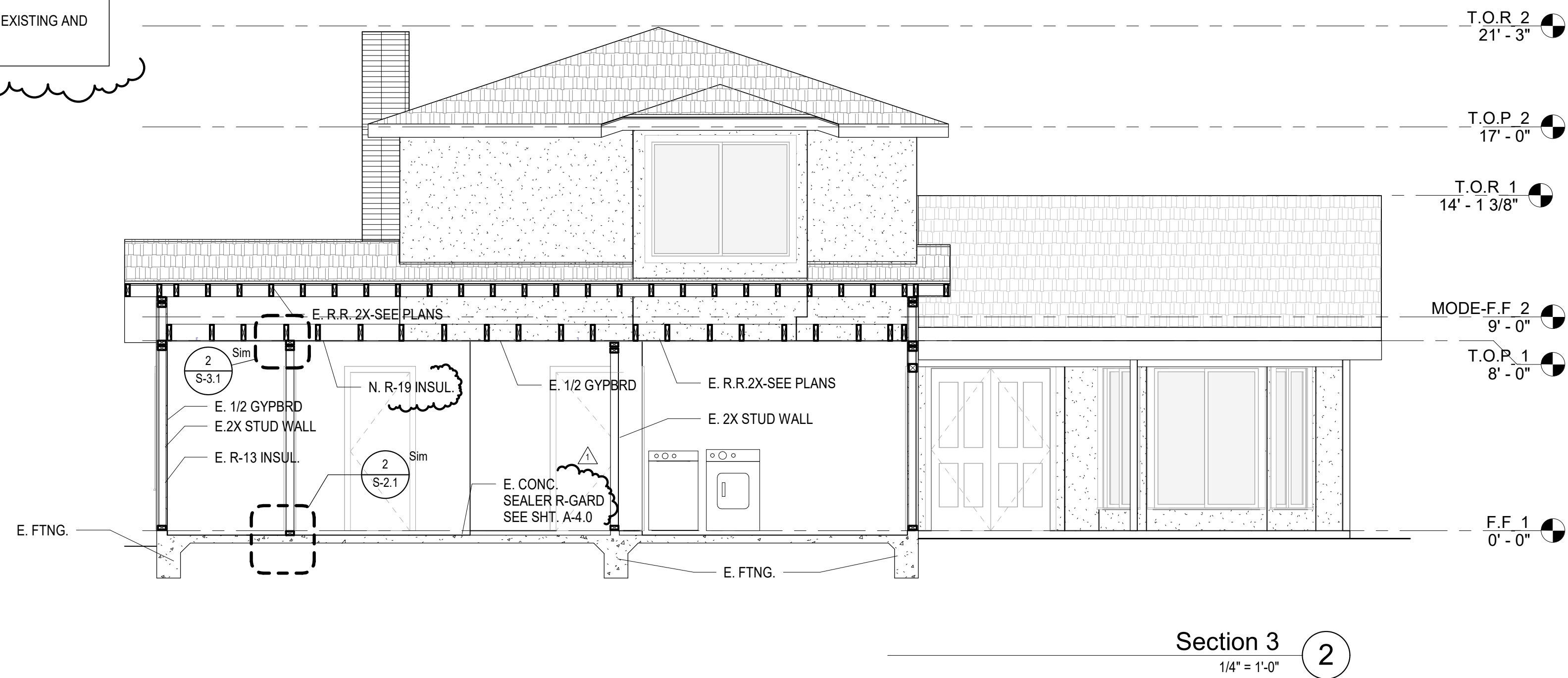
A-4.1

STUDIO 4X4 PROJECT NUMBER: 050.04

NOTE:
ALL FRAMING MEMBERS ARE EXISTING AND
SHOULD REMAIN .



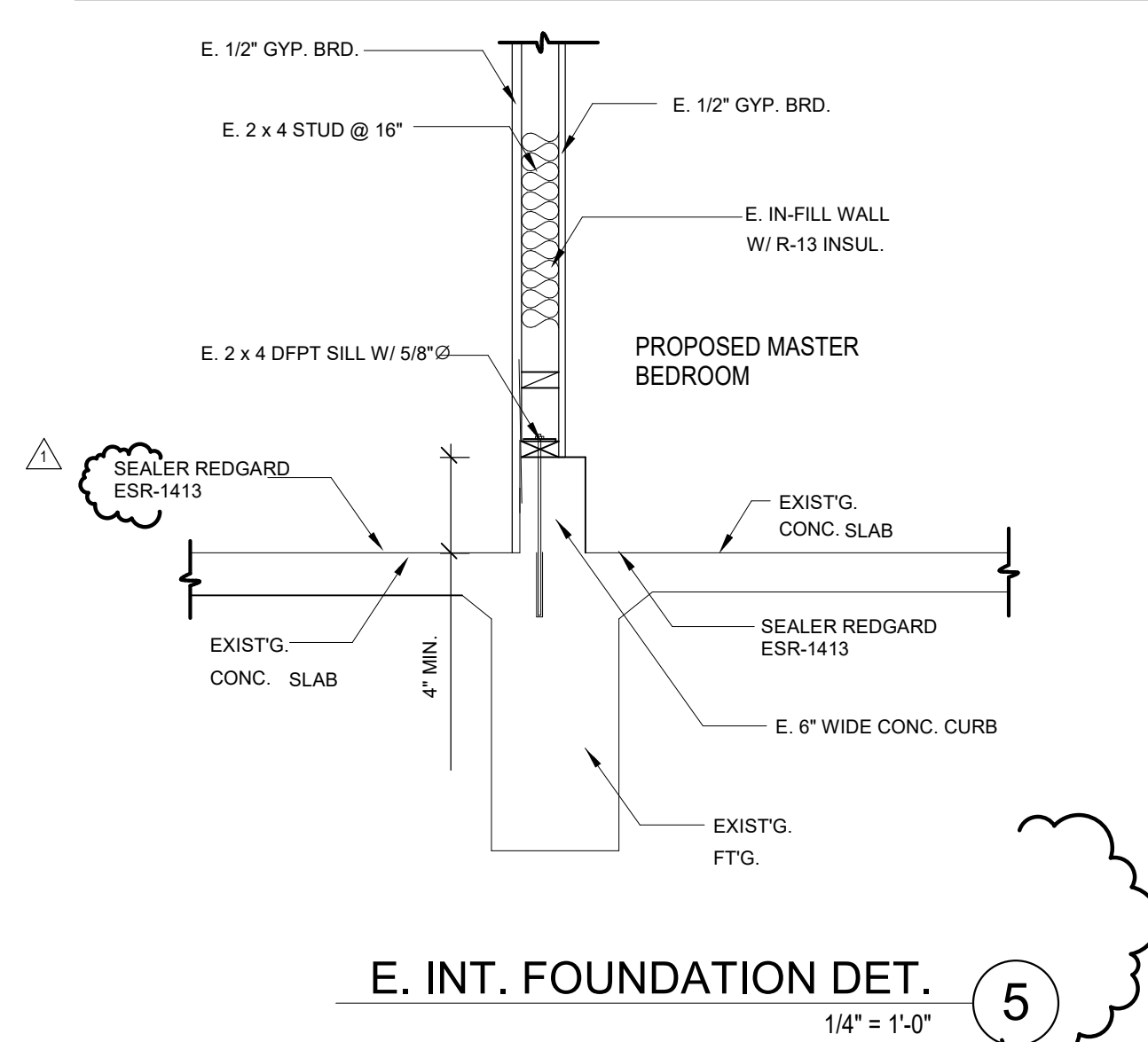
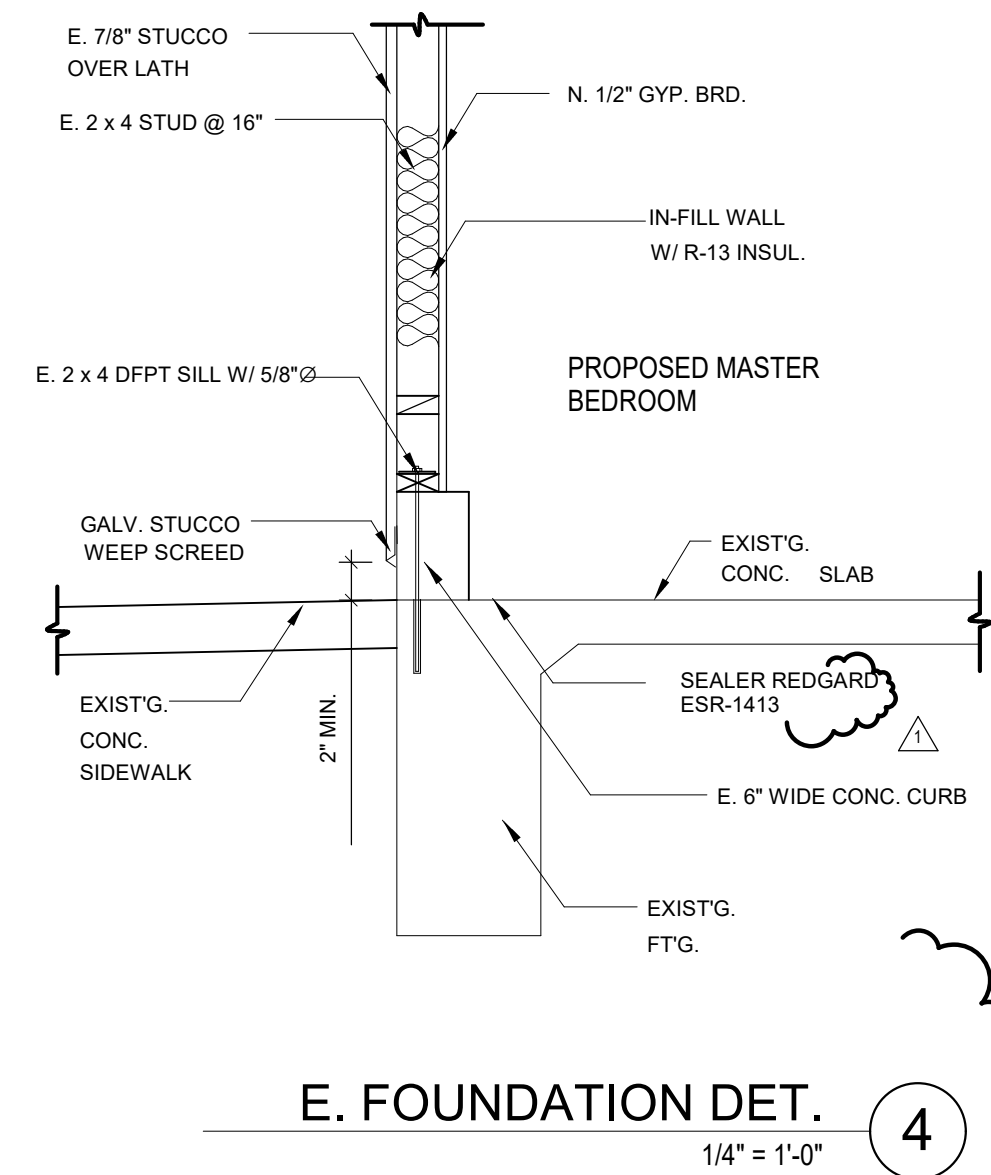
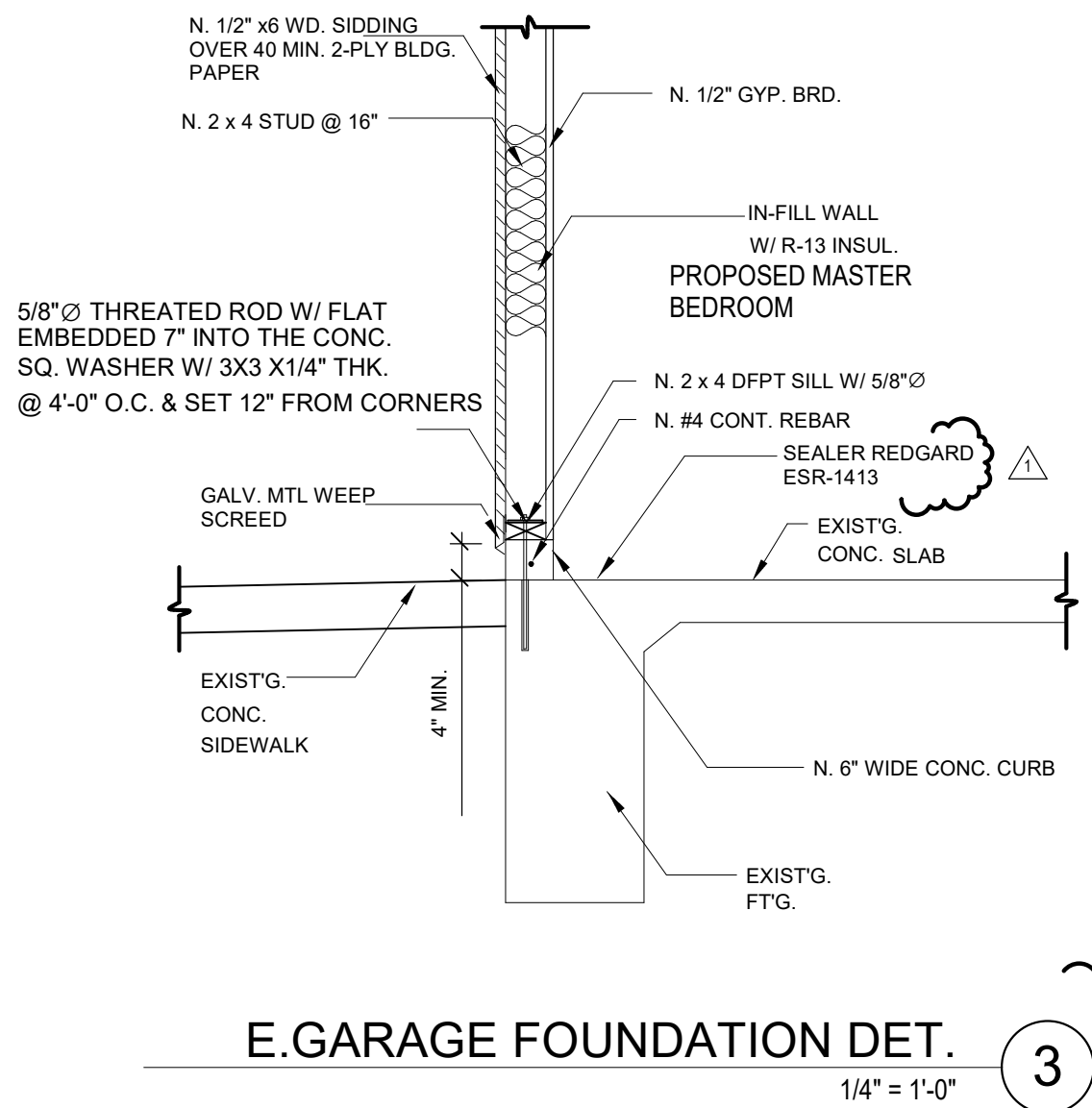
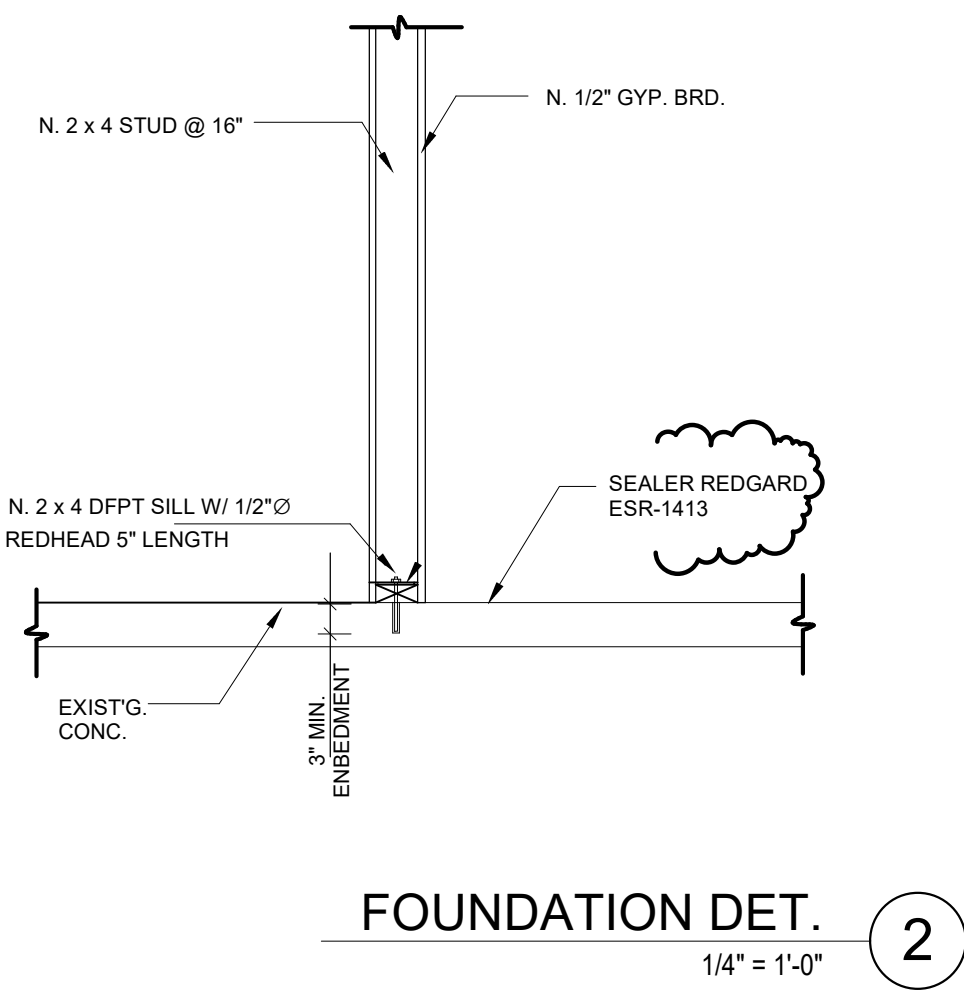
NOTE:
ALL FRAMING MEMBERS ARE EXISTING AND
SHOULD REMAIN .



ISSUE NAME:	
REVISION:	DATE
1	09.18.2024

**ROMANS
RESIDENCE**
Owner: ERIQUE ROMAN
9247 MELISSA CIRC.
JURUPA VALLEY, CA
Tel. 909.456.4777

SECTIONS
DATE: MAY, 17, 2024
SCALE: 1/4" = 1'-0"
DWG/CHECK BY: Author
S-1.0
STUDIO 4X4 PROJECT NUMBER: 050.04



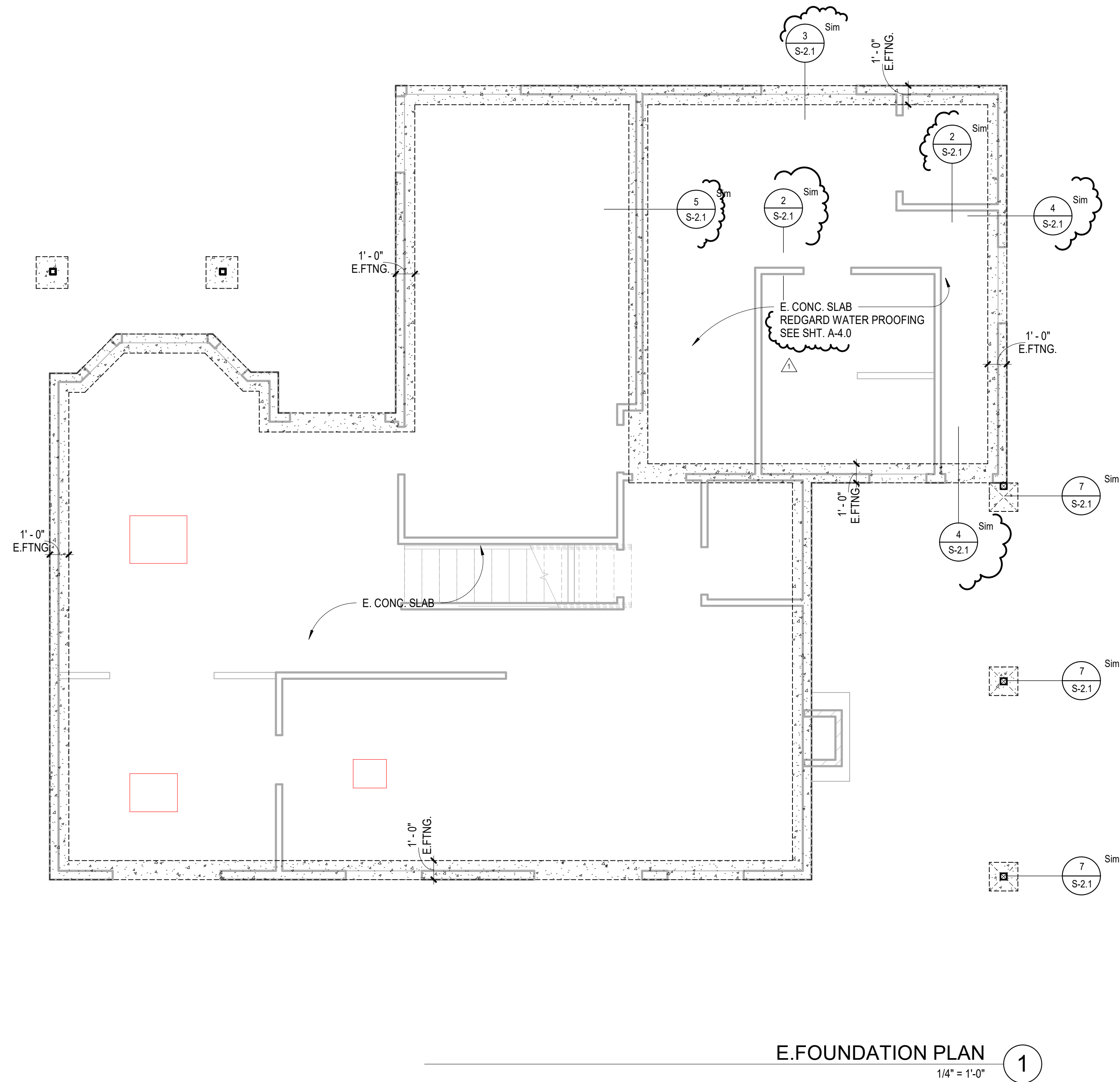
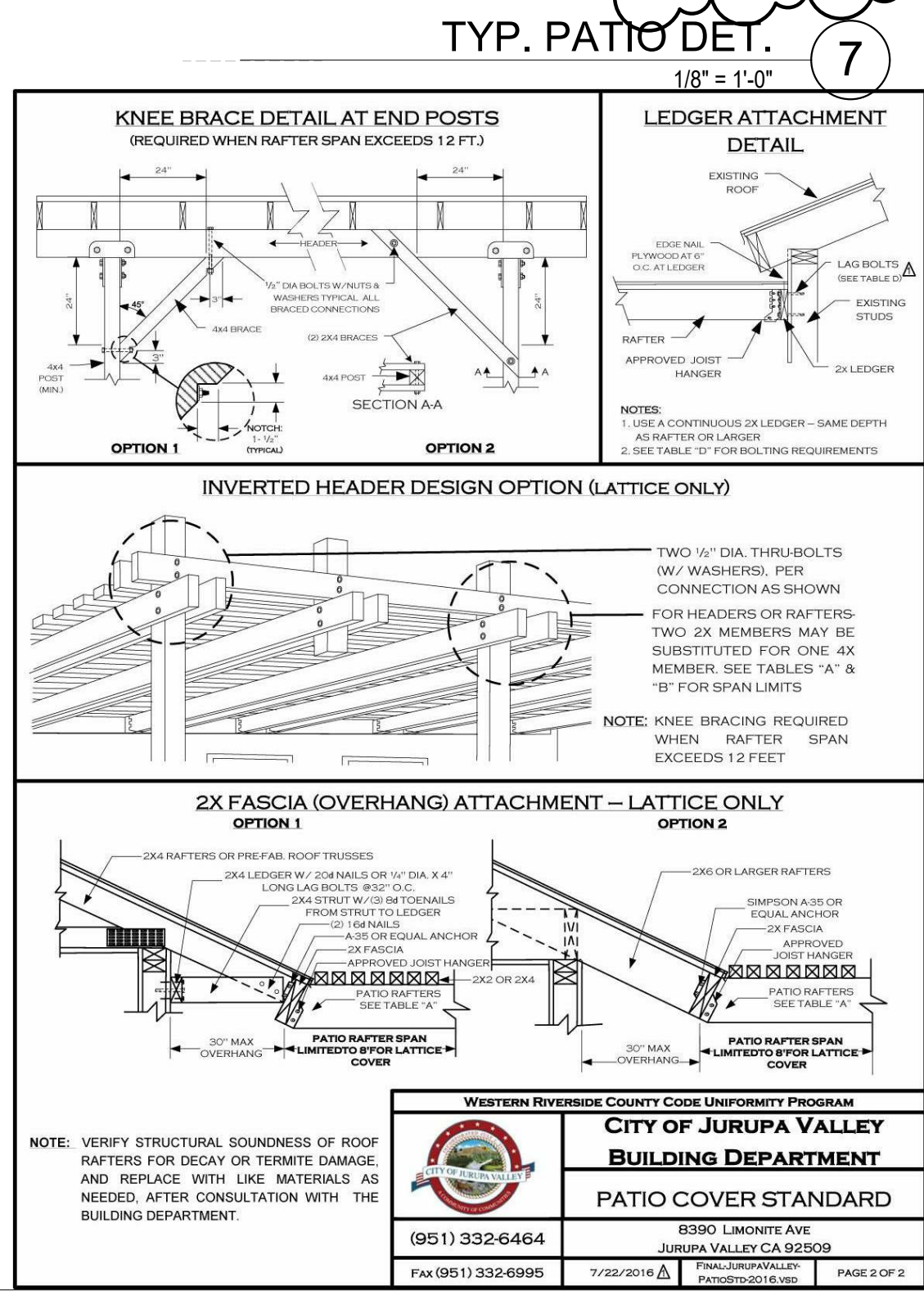
FRONT VIEW		SIDE VIEW	
TABLE "A" RAFTER SPANS (DOUGLAS FIR #2 OR BETTER)		TABLE "B" HEADER SIZE & SPANS (DOUGLAS FIR #2 OR BETTER)	
SIZE	SPACING	SPAN	RAFTER SPAN
2 x 4	12" O.C.	9'-0"	UP TO 12'-0"
	16" O.C.	8'-11"	12'-0" MAX 4 x 6
	24" O.C.	7'-8"	12'-0" MAX 4 x 8
2 x 6	12" O.C.	15'-4"	12'-0" MAX 4 x 6
	16" O.C.	13'-9"	12'-0" MAX 4 x 8
	24" O.C.	11'-3"	12'-0" MAX 4 x 10
2 x 8	12" O.C.	20'-0"	12'-0" MAX 4 x 6
	16" O.C.	18'-2"	12'-0" MAX 4 x 8
	24" O.C.	14'-10"	12'-0" MAX 4 x 10
2 x 10	12" O.C.	20'-0"	12'-0" MAX 4 x 6
	16" O.C.	20'-0"	12'-0" MAX 4 x 8
	24" O.C.	16'-11"	12'-0" MAX 4 x 10
4 x 4	24" O.C.	10'-0"	12'-0" MAX 4 x 6
	32" O.C.	9'-3"	12'-0" MAX 4 x 8
	32" O.C.	11'-2"	12'-0" MAX 4 x 10
4 x 6	24" O.C.	15'-11"	12'-0" MAX 4 x 6
	32" O.C.	13'-9"	12'-0" MAX 4 x 8
	48" O.C.	11'-3"	12'-0" MAX 4 x 10
4 x 8	24" O.C.	20'-0"	12'-0" MAX 4 x 6
	32" O.C.	18'-2"	12'-0" MAX 4 x 8
	48" O.C.	14'-10"	12'-0" MAX 4 x 10

NOTES:
1. TWO 2X MEMBERS MAY BE SUBSTITUTED FOR ONE 4X HORIZONTAL FRAMING MEMBER.
2. LAG BOLTS MUST FULLY ENGAGE A WOOD STUD OR RIM JOIST AND BE PROVIDED WITH APPROPRIATE WASHERS. LAG BOLTS SHALL BE LOCATED A MINIMUM OF 1 1/2" FROM THE TOP OR BOTTOM OF THE LEDGER.
3. NOT DESIGNED TO BE ENCLOSED - ADDITIONAL ENGINEERING ANALYSIS WILL BE REQUIRED IF ENCLOSED.
4. SEE PAGE 2 OF 2 FOR CONSTRUCTION DETAILS.
5. ARTIFICIAL LIGHTING IS REQUIRED IN ROOMS THAT HAVE WINDOW OPENINGS INTO THE COVERED PATIO AREA IF THE TOTAL WINDOW AREA IN THAT ROOM IS LESS THAN 10% OF THE FLOOR AREA OF THE ROOM OR 20 SQUARE FEET, WHICHEVER.

DISCLAIMER:
ALTERNATE PATIO DESIGNS MAY BE POSSIBLE WHEN PROVIDED WITH AN ENGINEERED ANALYSIS. USE OF THIS CONVENTIONAL STANDARD DESIGN IS AT THE USER'S RISK AND CARRIES NO IMPLIED OR INFERRED GUARANTEE AGAINST FAILURE OR DEFECTS.

* THIS SPACING AND SPAN IS FOR LATTICE PATIO COVERINGS ONLY.

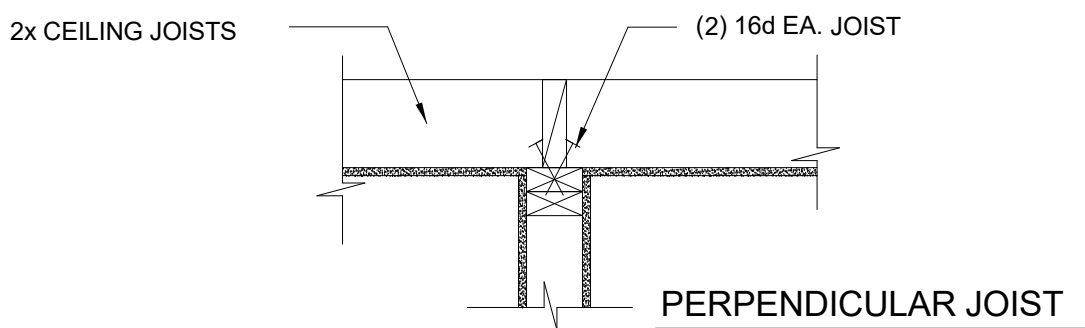
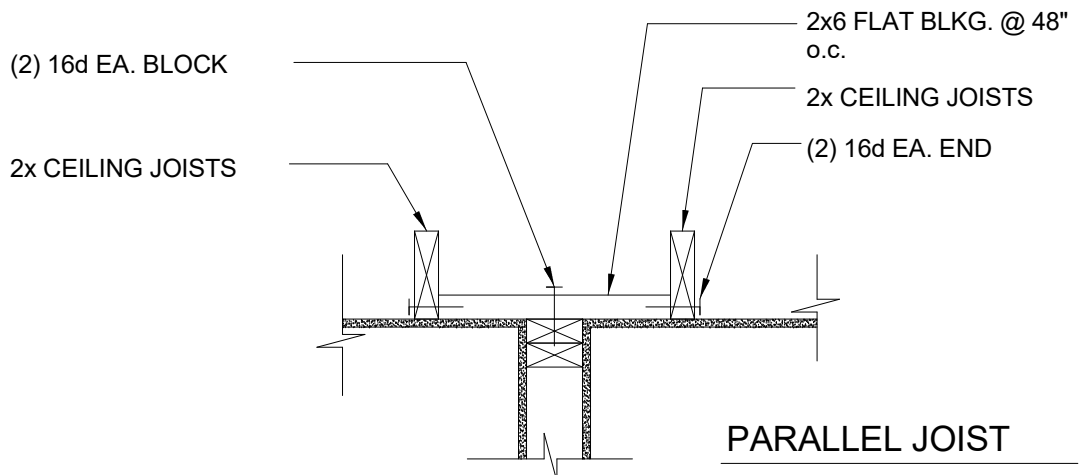
WESTERN RIVERSIDE COUNTY CODE UNIFORMITY PROGRAM
CITY OF JURUPA VALLEY
BUILDING DEPARTMENT
PATIO COVER STANDARD
(951) 332-6464
6930 LAMONTA AVE
JURUPA VALLEY, CA 92509
FAX (951) 332-6995
7/28/2016
PAGE 1 OF 2



E. FOUNDATION PLAN 1: 1/4" = 1'-0"

ISSUE NAME:	
REVISION:	DATE
1	09.18.2024

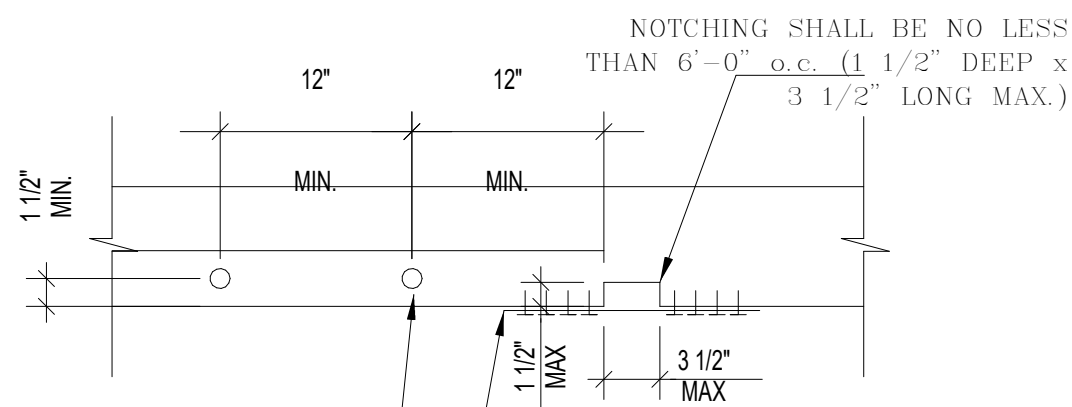
Owner: ERIQUE ROMAN
9247 MELISSA CIR.
JURUPA VALLEY, CA
Tel. 909.456.4777



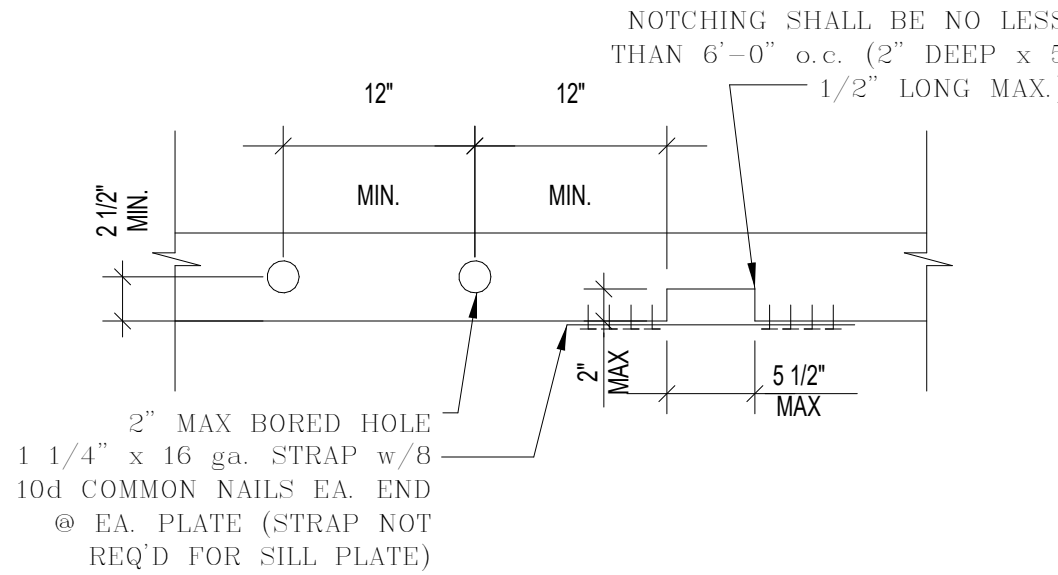
NON-BEARING WALL DTL.

1/4" = 1'-0"

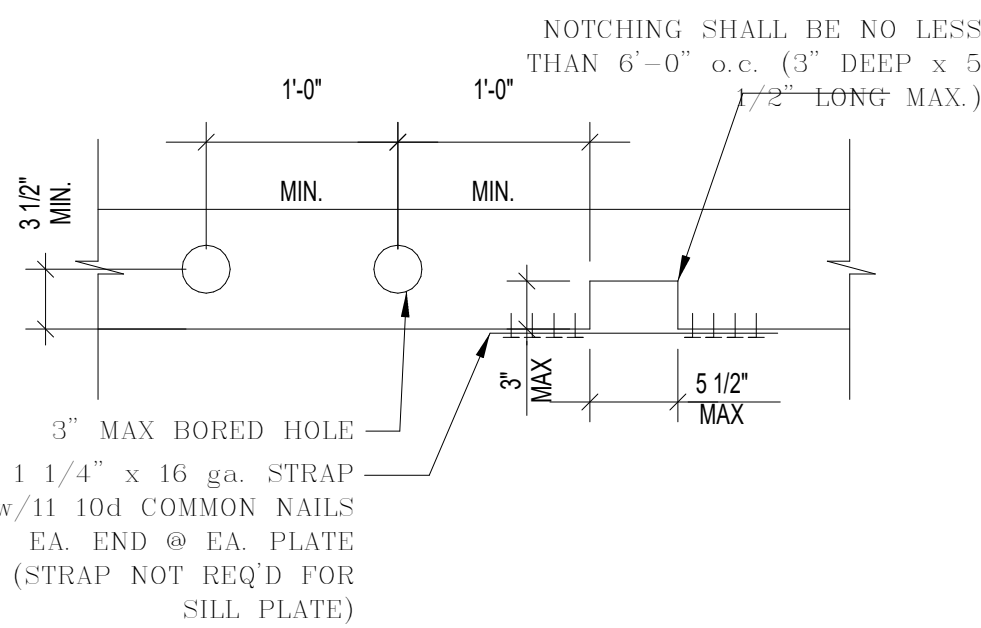
2



2x4 DBL. TOP PLATE - 2x4 OR 3x4 SILL PLATE SIM.



2x6 DBL. TOP PLATE - 2x6 OR 3x6 SILL PLATE SIM.



2x8 DBL. TOP PLATE - 2x8 OR 3x8 SILL PLATE SIM.

NOTCHING AND HOLES

1" = 1'-0"

3

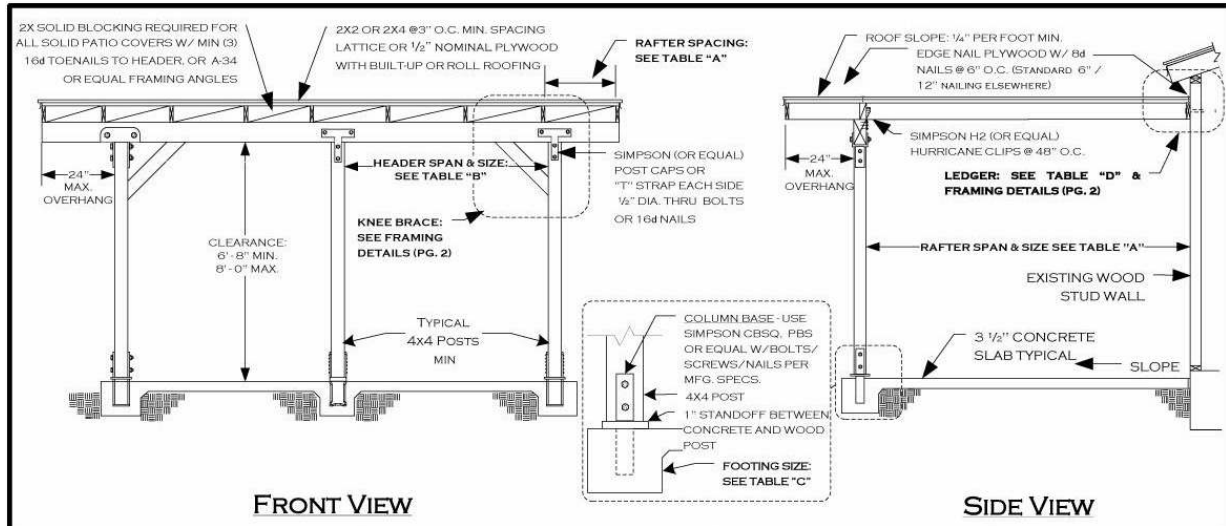


TABLE "A" RAFTER SPANS (DOUGLAS FIR #2 OR BETTER)			TABLE "B" HEADER SIZE & SPANS (DOUGLAS FIR #2 OR BETTER)		TABLE "C" FOOTING SIZE	TABLE "D" LEDGER BOLTING
SIZE	SPACING	SPAN	RAFTER SPAN	HEADER SIZE	BASED ON 1000 P.S.F. SOIL BEARING PRESSURE.	ALL LAG BOLTS SHALL HAVE 1/4" PRE-DRILLED HOLES. (SEE NOTE 2)
2x4	12" O.C.	9'-10"	UP TO 12'-0"	8'-0" MAX 4x6	18" SQ. X 12" DEEP	1/2" DIA. X 5" LONG AT 16" O.C. STAGGERED
	16" O.C.	8'-11"	10'-0" MAX 4x8	10'-0" MAX 4x8	18" SQ. X 12" DEEP	
	24" O.C.	7'-8"	12'-0" MAX 4x10	12'-0" MAX 4x10	18" SQ. X 12" DEEP	
	32" O.C.	6'-3"	14'-0" MAX 4x12	14'-0" MAX 4x12	18" SQ. X 12" DEEP	
2x6	12" O.C.	15'-4"	12'-0" MAX 4x6	12'-0" MAX 4x6	24" SQ. X 12" DEEP	(2) 3/8" DIA. X 5" LONG AT 16" O.C.
	16" O.C.	13'-9"	10'-0" MAX 4x8	10'-0" MAX 4x8	24" SQ. X 12" DEEP	
	24" O.C.	11'-3"	12'-0" MAX 4x10	12'-0" MAX 4x10	24" SQ. X 12" DEEP	
	32" O.C.	9'-7"	14'-0" MAX 4x12	14'-0" MAX 4x12	24" SQ. X 12" DEEP	
2x8	12" O.C.	20'-0"	20'-0"	20'-0"	24" SQ. X 12" DEEP	
	16" O.C.	18'-2"				
	24" O.C.	14'-10"				
	32" O.C.	12'-9"				
2x10	12" O.C.	20'-0"				
	16" O.C.	20'-0"				
	24" O.C.	16'-11"				
	32" O.C.	11'-2"				
4x4	24" O.C.	10'-0"				
	32" O.C.	9'-3"				
	48" O.C.	7'-8"				
4x6	24" O.C.	15'-11"				
	32" O.C.	13'-9"				
	48" O.C.	11'-3"				
	24" O.C.	20'-0"				
	32" O.C.	18'-2"				
	48" O.C.	14'-10"				

- NOTES:
- TWO 2X MEMBERS MAY BE SUBSTITUTED FOR ONE 4X HORIZONTAL FRAMING MEMBER.
 - LAG BOLTS MUST FULLY ENGAGE A WOOD STUD OR RIM JOIST AND BE PROVIDED WITH APPROPRIATE WASHERS. LAG BOLTS SHALL BE LOCATED A MINIMUM OF 1 1/2" FROM THE TOP OR BOTTOM OF THE LEDGER.
 - NOT DESIGNED TO BE ENCLOSED - ADDITIONAL ENGINEERING ANALYSIS WILL BE REQUIRED IF ENCLOSED.
 - SEE PAGE 2 OF 2 FOR CONSTRUCTION DETAILS.
 - ARTIFICIAL LIGHTING IS REQUIRED IN ROOMS THAT HAVE WINDOW OPENINGS INTO THE COVERED PATIO AREA IF THE TOTAL WINDOW AREA IN THAT ROOM IS LESS THAN 10% OF THE FLOOR AREA OF THE ROOM OR 20 SQUARE FEET, WHICHEVER IS GREATER.
- DISCLAIMER:
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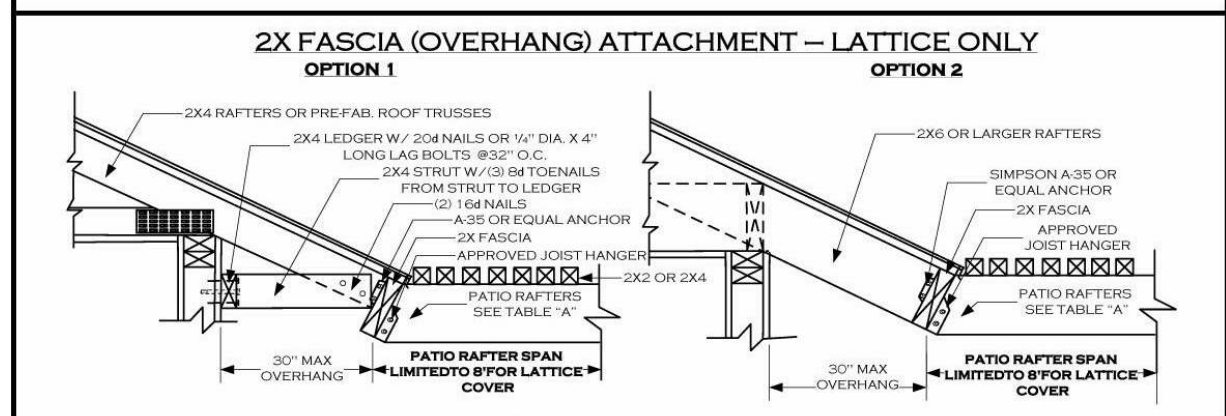
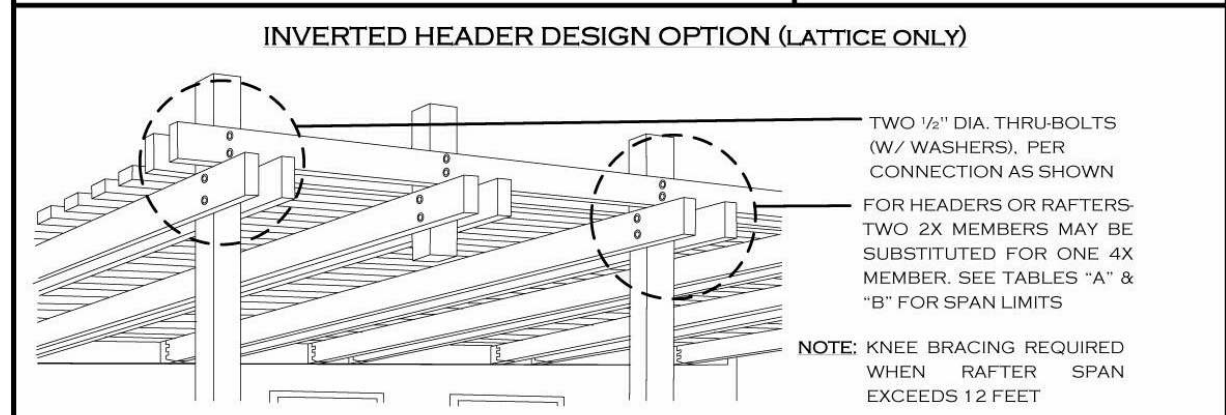
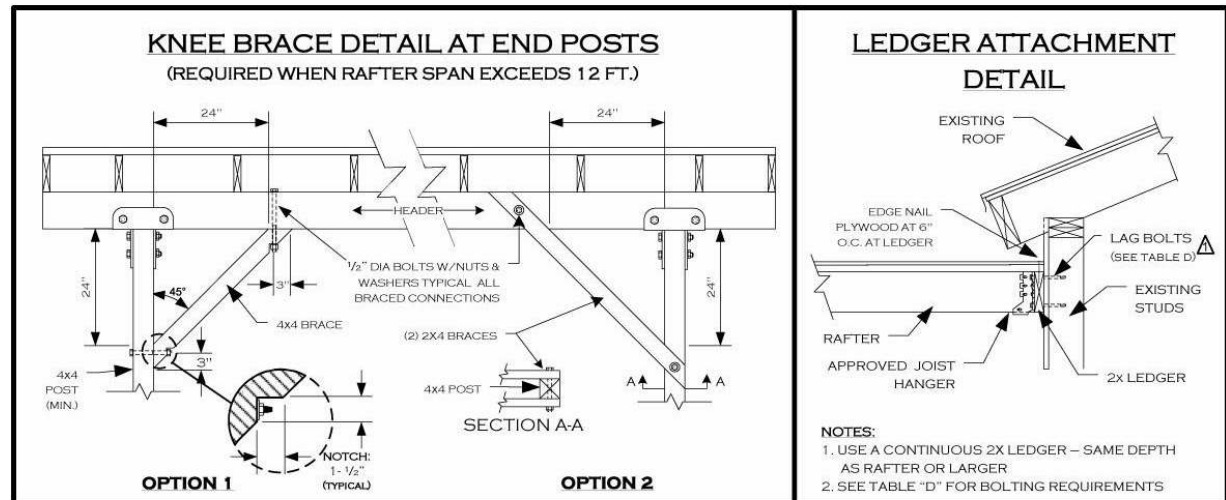
CITY OF JURUPA VALLEY BUILDING DEPARTMENT

PATIO COVER STANDARD

(951) 332-6464

8930 LIMONITE AVE JURUPA VALLEY, CA 92509

FAX (951) 332-6995 7/23/2016 PMS-JURUPAVALLEY PATIOSTD-2016.050 PAGE 1 OF 2



WESTERN RIVERSIDE COUNTY CODE UNIFORMITY PROGRAM

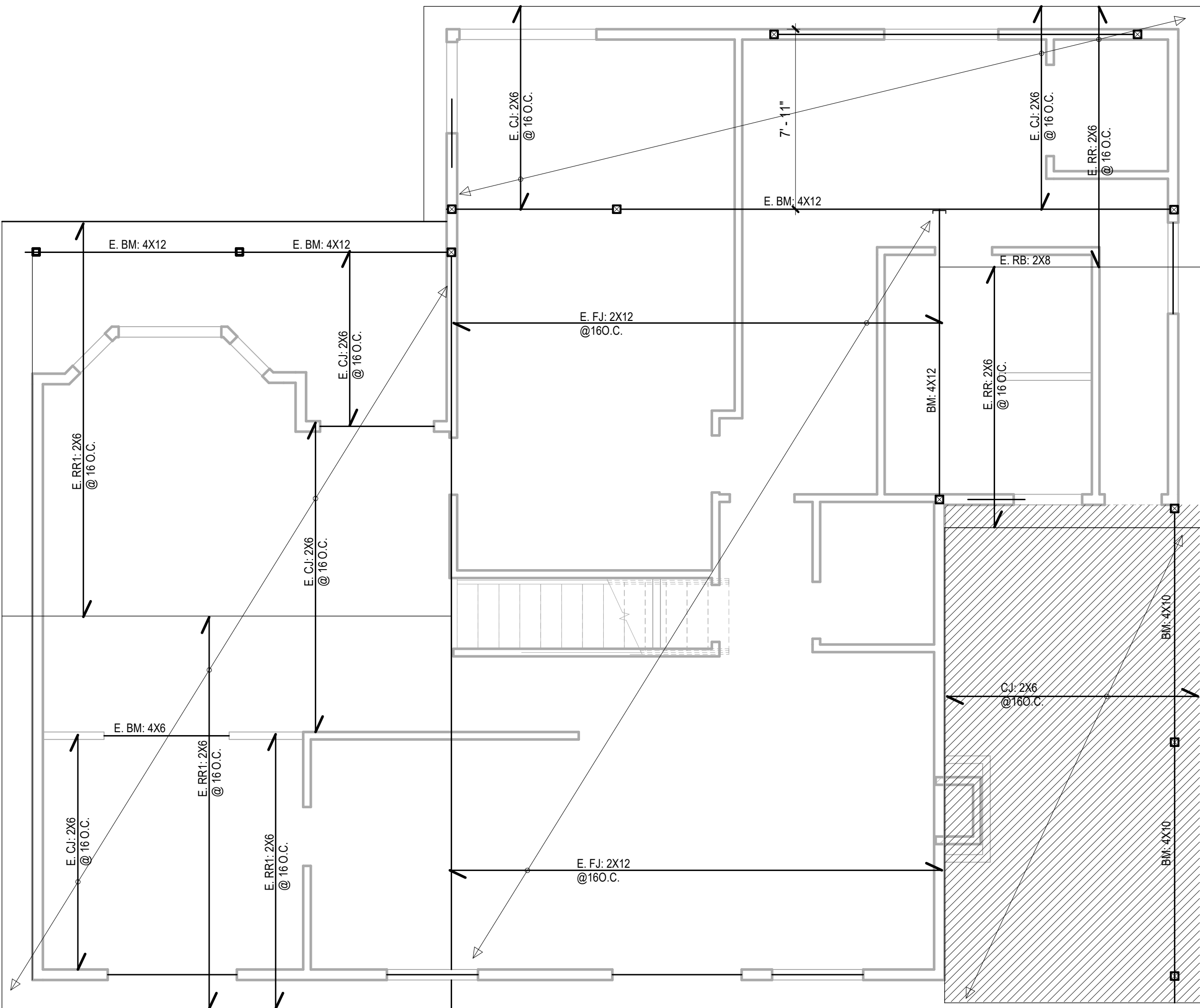
CITY OF JURUPA VALLEY BUILDING DEPARTMENT

PATIO COVER STANDARD

(951) 332-6464

8930 LIMONITE AVE JURUPA VALLEY, CA 92509

FAX (951) 332-6995 7/23/2016 PMS-JURUPAVALLEY PATIOSTD-2016.050 PAGE 2 OF 2



NOTE: ALL FRAMING MEMBERS ARE EXISTING AND SHOULD REMAIN.

ISSUE NAME:

REVISION: DATE

1 09.18.2024

Owner: ERIQUE ROMAN

9247 MELISSA CIR. JURUPA VALLEY, CA

Tel. 909.456.4777

F.F. 1 FRAMING PLAN

DATE: MAY. 17, 2024

SCALE: As indicated

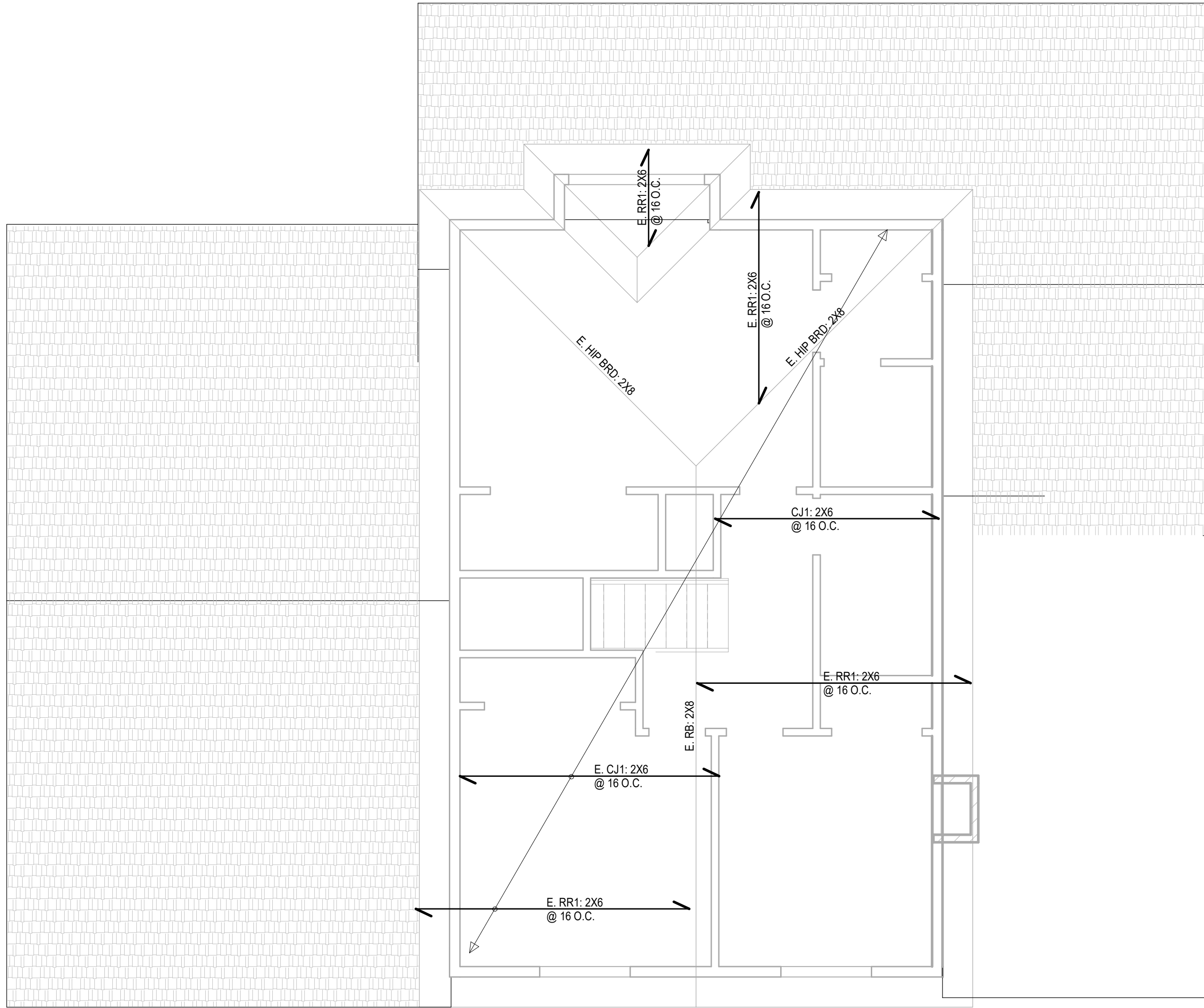
DWG/CHECK BY: Author

S-3.1

STUDIO 4X4 PROJECT NUMBER: 050.04

7/16/2025 8:45:33 PM

NOTE:
ALL FRAMING MEMBERS ARE EXISTING AND
SHOULD REMAIN .



E.F.F_2 FRAMING PLAN

1/4" = 1'-0"

1

4x4 STUDIO
DESIGN & CONSTRUCTION
LICENSE B59608
www.4x4studio.com
13066 5TH ST.
CHINO, CA 91710
PHONE: 909.214.9459
FAX: 909-461-4507

ISSUE NAME:

REVISION:	DATE
1	09.18.2024

Owner: ERIQUE ROMAN
9247 MELISSA CIRC.
JURUPA VALLEY, CA
Tel. 909.456.4777

Handwritten signature

F.F_2 FRAMING PLAN

DATE: MAY. 17, 2024
SCALE: 1/4" = 1'-0"
DWG/CHECK BY: Author

S-4.1

STUDIO 4X4 PROJECT NUMBER: 050.04