

DESIGN & CONSTRUCTION www.4x4studio.com

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**ISSUE NAME:** REVISION: DATE 9.18.2024 6.16.2025

# **ROMANS RESIDENCE**

Owner: ERIQUE ROMAN

9247 MELISSA CIRC.

JURUPA VALLEY,CA Tel. 909.456.4777

<u>ARCHITECTURAL</u>

A-1.0 Title Sheet

A-2.0 Green Notes

A-2.1 Existng 1st Floor Plan

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S-2.1 FOUNDATION PLAN

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<u>STRUCTURAL</u>

S-1.0 SECTIONS

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T-3.0 TITLE-24

A-2.2 Proposed 1st Floor Plan

A-1.1 Notes

TITLE SHEET

DATE: MAY. 17, 2024 SCALE: As indicated

DWG/CHECK BY: Author

STUDIO 4X4 PROJECT NUMBER: 050.04

# ARCHITECTURAL KEYNOTES

- E. 4:12 MIN. SLOPED ROOF W/ CLASS "A" CONC TILE O/ (2) LAYERS 15# FELT PAPER.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES ( POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCE ETC.) OR TO THE LOCATION OF A HOOK- UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THIS LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES
- STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE.
- APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAIN SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH PER FIRE CODE 505.1 (R319)

# TWO ROWS OF SAND FINISH GRADE

# M 🗏

# PROJECT INFO.

PROJECT ADDRESS: 9247 MELISSA CIRC.

JURUPA,CA.92509 PROJECT INFO.: A.P.N.: 170360005 BLK: NONE PARCEL AREA: 9,583.2 SQ.FT(0.22 ACRES). PER COUNTY RECORDS

## LOT DATA

NO. OF STORIES: 2 BUILDING HEIGHT: 21'-3" FIRE SPRINKLERS: NO (E)RESIDENCE: FIRST FLOOR PLAN 1211SQ.FT. SECOND FLOOR PLAN 740 SQ.FT. (N) 2-CAR GARAGE CONVERSION: 400 SQ. FT.

R-3 OCCUPANCY TOTAL: 2351 SQ.FT U OCCUPANCY:

95 SQ.FT. E. PORCH TOTAL UNOCCUPIED SPACE: 95 SQ. FT.

LOT SIZE: 9,583.2 SQ. FT. LOT COVERAGE (max. 40%) = 24.5 % LESS THAN REQUIRE FAR. 15.5%

# CODE INFO. SINGLE FAMILY HOUSE

2022. Title 24 includes twelve parts: 2022 California Building Code 2022 California Residential Code 2022 California Fire Code 2022 California Existing Building Code 2022 California Historical Building Code 2022 California Electrical Code 2022 California Plumbing Code 2022 California Mechanical Code

MUST COMPLY WITH APPLICABLE CODES OF 2022

CITY STANDARDS. APPROX. 213 SQ. FT.

SCOPE OF WORK:

2022 California Green Building Standards Code (CAL Green)
2022 California Energy Code
2022 California Administrative Code

GARAGE CONVERSION TO A MASTER ROOM AND A MASTER BATH

APPROXIMATELY 400 SQ. FT. WILL NEED TO DEMO GARAGE DOOR AND RE-FILL TO MATCH EXISTING STUCCO. NEW COVER PATIO PER

2022 California Referenced Standards Code City of Jurupa Valley Municipal Code

BUILDING ELEVATION

Work performed shall comply with. These general notes (unless otherwise noted on

as to the character and extent of work involved, prior to submitting the bid. C By submitting a bid, the bidder agrees and warrants that he has examined the drawings and found that they are adequate for proper completion of the Project. D The Contractor shall procure and pay for all necessary permits or certificates required to complete the work specified. The Contractor shall make any and all required notifications and comply with all applicable federal, state, and local ordinances.

E All trades shall furnish all labor, equipment, materials end perform all work necessary, indicated, reasonably inferred, or required by any code with jurisdiction to complete their scope of work for a complete and properly finished job. completed portions of the work. G It Is directly stipulated that the Contractor shall repair and make good any damage to adjoining properties or improvements caused by his operations.

H The Contractor shall coordinate the work of all trades, correlating the architectural drawings with any and all civil, structural, soils, mechanical, solar, electrical, plumbing, landscape, or interior design documents or drawings.

I On site verification of all dimensions and conditions shall be the responsibility of the Contractor (Subcontractor). Dimensions take precedence, do not scale drawings. Such verification shall be made before' ordering materials prefabricated items and commencing any portion of the work.

J All framing conditions, not specifically covered in the drawings shall be in conformance with the general construction requirements and conventional construction provisions of the latest 2022 California Building Code All conditions not specifically shown or detailed shall be 0? the Any materials substitution shall be permitted only upon the Contractor or supplier

receiving a written consent from the architect. K All material removed under this contract, which is not to be salvaged or reused or turned over to the Owner, shall become the property of the Contractor and shall be promptly removed from the site.

L All work, inclusive of labor and materials, shall be guaranteed for one (1) year following the date of the Notice-of-Completions or longer If required by law or specification. M Contractor shall verify all dimensions in the field and notify the architect immediately, in writing, of any discrepancies.

2) ROOFING: Asphalt Shingle Roof:

A Sloping roof shall be asphalt shingles, "Architect '80"

B Application shall follow manufacturer's printed instructions.

C Provide all flashing and counterflashing required. D Underlayment, nailing and spacing shall be as per manufacturers printed instructions.

3) SHEET METAL

A Include all work for flashing, counter-flashing, grovel stops, leaders, gutters, etc.

B All sheet metal to be 26 ga galvanized iron unless otherwise noted. C Exterior exposed beams penetrating felt shall be flashed, counter-flashed with rain dam.

4) INSULATION: A Comply with min. requirements of Calif. Administrative Code Title 24 report by Energy etc.

5) DOORS: See Door Schedule. Sheet A 2.1

A All exterior doors and doors between garage and living space to be weather-stripped.

A See Window Schedule Sheet A.2.1

6) WINDOWS:

7) GLAZING:

A All Glazing Shall follow window schedule guidelines

8) FINISHES:

A) Exteriors See Elevations for location of exterior materials. a Stucco: 7/8" thick as manufactured by "La Habra" or "Marlex": texture light "Spanish

Lace": color selected by OWNER. b All exterior finish material shall be applied over one layer of 15# saturated felt. c Flash all exterior openings with approved waterproof building paper to extend at least 3" under the building paper behind wall covering.

B) INTERIOR: A) Gypsum Wall Board

a Wallboard shall be 1/2" thick at walls, 5/8" thick at ceilings, U.N.O. b Drywall nailing PER CODE, Spray texture light knock-down finish" all drywall ceilings except kitchen, bath, storage and utility rooms.

c At 1-hour condition: one layer 5/8" type 'X' on garage side of walls or ceiling.

9) PAINTING

A. Stain: Heavy body as manufactured by "Old Quaker", "Olympic" or equal. B. Paint: Alkyd water base as manufactured by "Olympic", "Dunn-Edwards

C. Color selected by owner. Interior: 1)Walls: Flat

3)Kitchen Cabinets: Laguer Stain 4)Painted Cabinets: Semi-Gloss

10) FINISH CARPENTRY

2)Trim: Doors: Semi-Gloss

A. All Interior wood trim, posts, stops, handrail, etc. shell be S4S white pine or cedar.

B. Cabinets shall be selected by: owner.

C. Protect all work from hammer marks, nicks, scratches etc.

11) MISCELLANEOUS

A. Framing contractor shall provide solid blocking in walls behind all handrail., guardrail supports, toilet paper dispensers, and towel rods.

B. Provide toilet paper dispenser at 24" a.f.f. and towel rod at 54" a.f.f. typical all bathrooms.

C. Provide termite and decay protection

D. Vent bath, kitchen, and dryer vents to outside air per code and manufactures' requirements. E. Provide 22" x 30" mm. attic access with mm. headroom of 30".

12) MECHANICAL A. Mechanical subcontractor shall supply line diagrams and calculations as required for the Building Department for permits, etc.

B. Every dwelling unit shall be provided with heating facilities capable of maintain a room temperature of 68 degrees f at 3 feet above the floor in all habitable rooms. CRC 303.9 C. Provide clothes dryer moisture exhaust duct (min. 4 inch dia. ) to the outside and equipped with a back- draft damper. Exhaust duct length is limited to 14ft. with 2 elbows. CMC 504.3

13) PLUMBING: A. Plumbing subcontractor shall supply line diagrams and calculations as required for the Building Department for permits, etc. Water Heater Note: Provide temperature and pressure valve to

outside of building or floor sink/ drain B. No plastic pipe may penetrate a fire-rated (i.e. 1 hr.) enclosure. Note that this includes

residential garages.

C. Provide low flow showerheads and low consumption water closets. E. Water closets shall not exceed 1.28 gallons of water per flush. CPC 403.2.1. showers shall have a maximum flow rate of 2.0 gallons per minute. CPC 408.2

14) ELECTRICAL

A. Electrical contractor shall supply line diagrams and calculations as required by the building department for permits, etc.

B. Proper electrical ground rod to be installed. 20' length of #4 rebar installed in foundation in

C. Electrical cutlets to be placed at 12'-0" max. along walls including sliding doors at exterior walls and any wall more than 2'-0" in length.

D. In kitchen and dinning areas, receptacles shall be installed at each counter apace wider than 12" so that no point along the wall line is more than 24" from a receptacle. Island and peninsula countertops 12" or wider shall have at least one receptacle for every 4'-0" of counter top. NEC E. A 125 volt single phase 20 amp rated receptacle shall be installed at an accessible location for the servicing of heating, air-conditioning located within 25'-0" of said equipment.

F. In the kitchen and dining area, a receptacle shall be provided for each counter space wider than 12 inches so that no point is more than 24" from an outlet. CEC 210.52© G. surface mounted lighting fixtures in closets must be 12 inches form storage area(s). flush mounted must be 6 inches away. CEC 410.8). high efficacy luminaire required if the closet space is more than 70 sq. ft.

H. tampered resistant receptacles required. CEC 406.12

STRUCTURAL GENERAL NOTES.

All exterior and load bearing footings shall be extended 12" for 1 story, 18" for 2 story, or 24" for expansive soil conditions, below natural grade. U.N.O. All concrete for footings and slabs on grade shall be 150 Lbs. per cubic foot density and shall attain a min.. compressive strength of 2,500 P.S.I. at 28 days. Cement shall be Type I or Type II portland per ASTM C-150.

All footings shall have a min. #4 continuous rebar at top and bottom of footing. All reinforcing bars shall be intermediate grade 4 formed bars to comply w/ ASTM A-615. Lap bars a min. of 30 bar dia. or 24" and wired secured in place prior to pouring concrete.

Saturate all soil to a depth of 8" prior to pouring concrete footings and/or slabs. All wood sills on concrete shall pressure treated Douglas Fir

Maintain 8" between finish grade and sill. All bolts and nuts bearing on wood shall have washers. Assume soil bearing of 1500 psf (U.N.O. by soils report)

Concrete Slabs on Grade: 4" min. slab on grade over 2" of sand over 6 mil. visqueen vapor barrier over 2" of sand. Reinforce slab w/ min. of #3 bars at 24" O.C. each way.

Provide min. clearance for wood members above grade. 12" for girders and 18" for joists.

Floor Joists shall not be notched or dapped in any way unless detailed. Double floor joist under parallel partitions and solid block under perpendicular partitions. Solid block floor joists at 8'-0" O.C. max and at supports

Provide 18" X 24" min. crawl hole located not more than 20'-0" from plumbing clean outs and/or furnace. Provide 1-1/2 sq. ft. under floor vents per 25' of linear ext. wall.

Wood diaphragm placement and nailing to be inspected and approved before covering (All diaphragms).

Wood Frame Walls: All horizontal framing members shall be Douglas Fir \*2 grade or better for 2x members and #1 or better for 4x and larger members.

Splices in top plate shall be staggered min. 10'-0" and lap min. 4'-0". Fire blocking shall be installed in all walls over 8'-0" high and shall be 2X (width of studs). Approved fire stopping shall be provided in walls at plate lines, soffits and/or furred spaces at plate lines, at intervals of 10'-0" vertical and horizontal, penetrations of plates and walls, and concealed chases. Provide 1X6 let in brace at all corners of walls and every 25'-0" of walls (U.N.O.).

Provide approved flashing at all exterior openings. Provide dbl. trimmers to support larger headers.

Framing Lumber.

All lumber shall be grade marked. Douglas Fir, MC 19, Northern Region 2x Ceiling, floor, and roof Joists shall be No. 2 or better (U.N.O.) 4x Beams shall be No. 1 or better. 6x (or greater) beams shall be select structural. 2x4 or 4x4 posts shall be STD/Stud Grade 2x6 studs or greater shall be No. 2.

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Concrete Slabs on Grade:

4" min. slab on grade over 2" of sand over 6 mil. visqueen vapor barrier over 2" of sand. Reinforce slab w/ min. of #3 bars at 24" O.C. each way.

Wood Floors.

Provide min. clearance for wood members above grade. 12" for girders and 18" for joists. Floor Joists shall not be notched or dapped in any way unless detailed. Double floor joist under parallel partitions and solid block under perpendicular partitions. Solid block floor joists at 8'-0" O.C. max and at supports.

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SECURITY REQUIREMENTS

6x (or greater) posts shall be select structural.

**GENERAL NOTES** 

1. All entry doors to dwelling units or guest rooms shall be arrange so that the occupant has a view of the area immediately outside the door without opening the door. Such view may be provided by a door viewer, through windows located in the vicinity of the door or through view ports in the or adjoining wall.

2. Screens, barricades, or fences made of materials which preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8 ft. of the utility pole or similar

**DOORS** 

3. Wood flush-type doors shall be 1 3/8" thick minimum with solid core construction. Door stops of in-swing doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb.

4. Every door in a security opening for an partment house shall be provided with a light bulb (60 watts min) at a maximun height of 8 ft. on the exterior.

5. All in-type door hinges accesible from outside shall have non-removable hinge pins. Hinges shall have a min. 1/4" dia. Steel jamb stud with 1/4" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long.

6. Provide dead bolts with hardened inserts; deadlocking latch with key-operated locks on exterior. Locks must be openable from inside without key, special knowledge or special effort (latch not req. in B,F, and S occupancies.

7. Straight dead bolts shall have a min. throw of 1" and an embedment of not less the 5/8", and a hookshaped or an expanding-lug deadbolts shall have a minimum throw of 3/4".

8. The use of a locking system which consist of a deadbolt latch operated by a dooknob and a deadbolt operated by a non-removable thumb turn which is independent of the deadlocking latch and which must be separately operated, shall not be considered as a system which req. special knowledge or effort when used in dwelling units. The knob and the thumb turn which operates the deadbolt shall not be separated by more than 8" inches.

9. Wood panel type doors must have panels at least 9/16 in. thick with shaped portions not less than 1/4 in. thick and individual panels must no be more than 300 sq. in. area. mullions shall be considered a part of adjecent panels except mullions not over 18 in. long may have an overall with os not less than 2 in. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1 3/8 in. and 3 in. in width.

10. Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position.

11. Sliding glass doors shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subject to tests

12. Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with min. 9/32" diameter harder steel shackle and bolted, hardened steel hasp. metal slide board, bolt or equivalent device unless secured electrically operated.

13. Provide metal guides at top and bottom of metal accordion grate or grille-type doors and cylinder locks or padlocks. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools.

**GLAZING**:

14. In B,F,M, and S occupancies, panels of glazing with atleast one dimension greater than 5 in. but less than 48 in. shall be constructed or tempered or approved burglaryresistant material or protected with metal bars or grilles.

15. Glazed openings within 24" of the door lock when the door is in the closed position, shall be fully tempered glass or approved burglary resisitant material, or shall be protected by metals bars, screens or grills having a minimum opening of 2". The provisions of this section shall not apply to view ports or windowsa which do not exceed 2" in their greatest dimensions.

<u>WINDOWS</u>

16. Louvered windows shall be protected by metal bars or grills with openings that have at least on dimension of 6" or less, which are constructed to prelude human entry.

17. Other openable windows shall be provided with substancial locking devices. In B.F.M. and S occupancies, such devices shall be glide bars, bolts, cross-bars, and/or padlocks with min. 9/32" hardened steel shackles and bolted, hardened steel hasps.

18. Sliding windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open

19. Sliding windows shall be equiped with locking devices and shall be so constructed and installed that they remain intact and engaged when subject to tests specefied in

20. Any release for metal bars, grills, grates or similar devices constructed and human entry that are installed shall be located on the inside of the adjacent room and at east 24in. from the closest opening through such metal bars, grills, grates or similar devices that exceeds two in. in any dimension.

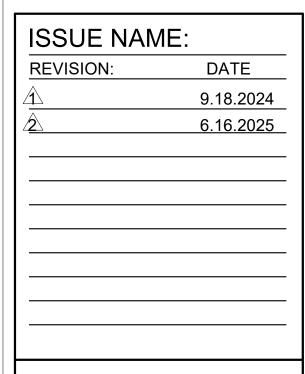
OPENINGS OTHERS THAT DOORS OR GLAZED OPENINGS

21. All other openings must be protected by metal bars or grilles with opening of not less than 6 in. in one dimension.

STUDIO DESIGN & CONSTRUCTION

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NOTES

DATE: MAY. 17, 2024 SCALE: 1/8" = 1'-0" DWG/CHECK BY: Author



#### California Green Building Standards Code:

#### Residential Mandatory Measures Requirements for (R-3) SFD

All newly constructed single family dwellings (SFD) and any addition or alteration to an existing single family dwelling which proposes to increase the dwellings conditioned area, volume, or size shall fully comply with the adopted California Green Building Standards Code and the items described in this checklist. These requirements apply only to the specific area of addition or alteration for existing dwellings.

Building Permit Number: \_\_\_\_\_\_Site Address: 9247 MELISSA CIRC. JURUPA,CA

Section	Green Mandatory Measures		
Division 4.1	Planning & Design: Site Development		
4.106.2	Storm water drainage and retention during construction:  Projects which disturb less than one acre of soil and are not part of a larger common development shall manage storm water drainage during construction in accordance with this code and State law.		
4.106.3	<b>Grading and paving.</b> Site grading or drainage systems will manage all surface water flows to keep water from entering buildings.		
4.106.4	Electric vehicle charging for new one- and two-family dwellings with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit (nominal 1-inch inside diameter) that originates at the main service or subpanel and terminates into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. The service panel or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. The service panel or subpanel shall be permanently labeled to identify the breaker space as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".		
Division 4.2	Energy Efficiency		
4.201.1	<b>Scope</b> . This project shall comply with all applicable energy efficiency requirements as set forth in the most recent version of the California Energy Code. Energy calculations and forms shall be included as part of the plans and drawings.		
Division 4.3	Water Efficiency & Conservation		
4.303.1	Indoor water use. Plumbing fixtures and fittings shall comply with the following and shall be shown on the construction documents:		

# BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITES\*

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Development Construction
Projects/Certification Statement

The following is intended as minimum notes or as an attachment for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)

- Every effort should be made to eliminate the discharge of non-stormwater from the project site at all times.
- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to
  contaminate the soil and surface waters. All approved storage containers are to be protected from the
  weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be
  washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance
  roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental
  depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.

"I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, to the best of my knowledge and belief, the information submitted is true, accurate, and complete. I am aware that submitting false and/or inaccurate information, failing to update the ESCP to reflect current conditions, or failing to properly and/or adequately implement the ESCP may result in revocation of grading and/or other permits or other sanctions provided by law."

Print Name _			
	(Owner or authorized agent of the owner)		
Signature		Date	05
	(Owner or authorized agent of the owner)		<del>, , ,</del>

- 1	
- 1	*The above Best Management Practices are detailed in the latest edition of the California BMP Handbook or Caltrans Stormwater Quality Handbooks.
	The above destination and the received are detailed in the latest edition of the California Divir Handbook of Califaris Stormwater Quality Handbooks.
- 1	9

	Fixture Type	Maximum Flow Rate	Plumbing fixtures and fittings shall be
	Shower Head	<b>2.8</b> GPM @80 psi	- installed in accordance with the
	Kitchen Faucet	1.8 GPM @60 psi	California Plumbing Code and shal
	Lavatory Faucet	1.2 GPM @60 psi	meet the applicable standards
	Water Closet	1.28 gallons per flush	referenced in Table 1701.1 of the
	Urinal	0.125 gallons per flush	California Plumbing Code.
4.304.1	Outdoor potable w	rater use in landscape ar	eas. New residential developments with
	with one of the foll the current Califor Landscape Ordino aggregate landsc	owing options: <b>a</b> . A local ornia Department of Wo ance (MWELO), whicheve ape areas less than 2,5	reater than 500 square feet shall comply water efficient landscape ordinance of ater Resources Model Water Efficien er is more stringent; or <b>b.</b> Projects with 500 square feet may comply with the
	MWELO's Appendi	x D Prescriptive Complian	The Hardward Phil
Division 4.4		Material Conservation	28 TH W. 19. 19. 20. 20. 20. 20. 20. 20. 20. 20. 20. 20
4.406.1	openings in sole/b passage of rodents	oottom plates at exterio	pipes, electric cables, conduits or other or walls shall be protected against the or with cement mortar, concrete mason ouilding inspector.
	Construction waste	management. Recycle a	nd/or salvage for reuse a minimum of 65
4.408.1	CAL Green Section Company or 4.408 management con Documentation of	n <b>4.408.2 Waste Manage</b> <b>3.4 Waste Stream Reduct</b> npany/hauler shall be us	nolition waste in accordance with either ment Plan, 4.408.3 Waste Manageme ion Alternative. A City approved wasted for recycling of construction wasted. 4.408.1 shall be provided to the Authorioval.
4.410.1	Maintenance Man given to the owner the property is beir	ual as outlined in Cal Gre upon final approval by th ng sold, it should be giver	builder shall prepare an Operation and een Section 4.410.1. The manual shall be ne building inspector. In such case when no to the new owner at the time of sale. e inspector prior to, or at the time of fin
Division 4.5		Environmen	tal Quality
4.503.1		talled gas fireplace shall t	pe of the direct vent, sealed combustic t permissible in accordance with AQM
4.504.1	HVAC system, all d covered with tape	uct and other related air o	ction process and until final startup of the distribution component openings shall be other method to reduce the amount of system.
4.504.2	A STATE OF THE PARTY OF THE PAR	STANDARD BATTERS STANDARD STAN	ials shall comply with the following:
4.504.2 4.504.3 4.504.4	a. Adhesives, seal	lants and caulks used on	idis shall comply with the following: I this project shall comply with SCAQM Dounds. Aerosol adhesives, sealants ar

b. Paints and coatings shall comply with VOC limits in Cal Green Table 4.504.3.

requirements noted in Cal Green Section 4.504.2.3.

c. Aerosol paints and coatings shall comply with statewide requirements and other

d. Carpet systems. All carpeting and carpet cushions shall meet the requirements of the Carpet and Rug Institute Green Label program. Carpet Adhesives shall comply with VOC limits in Cal Green Table 4.504.1.
e. Resilient flooring. Where installed, 80% of the floor area receiving resilient flooring shall comply with one or more of the standards listed in Cal-Green Section 4.504.4.
f. Composite wood products used on the interior or exterior of the building shall

f. Composite wood products used on the interior or exterior of the building shall comply with the formaldehyde limits per Cal-Green Table 4.504.5. Verification of compliance with the standards listed above shall be provided upon request to the building inspector.

4.505.1 Interior moisture control. Buildings shall meet or exceed the provisions of the California Building Code.

4.505.3

a. Concrete Slab foundations. Concrete Slab-on grade foundations/floors that are required to have a vapor retarder by California Building Code Section 1907 or California Residential Code Section R506, shall have a capillary break installed between the concrete slab and supporting grade.

**b. Building materials** with visible signs of water damage shall not be installed. Wall and floor framing lumber shall not be enclosed when the framing members exceed 19-persent moisture content. Moisture content shall be verified using one of the methods listed in Cal Green Section 4.505.3.

methods listed in Cal Green Section 4.505.3.

c. Insulation products which are visibly wet or have high moisture content shall be

replaced or allowed to dry prior to enclosure in wall or floor cavities.

4.506.1 Indoor air quality and exhaust. Each bathroom (a room which contains a bathtub, shower, or tub/shower combination) shall be mechanically ventilated and shall comply with the following:

Exhaust fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.

 Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control.

bathroom exhaust fans must be controlled by a humidity control.
 Humidity controls shall be capable of adjustment between 50% and 80% relative humidity. Humidity control may utilize manual or automatic means of adjustment which may be a separate component to the exhaust fan (not

required to be built-in).

4.507 HVAC system design. HVAC systems shall be sized, designed and have equipment selected using the methods listed in Cal Green Section 4.507.2.

#### Designer's Declaration Statement Builder's Declaration Statement

I hereby certify as the designer of record that the proposed building plans meet the requirements of the California Green Building Standards Code.

I hereby certify as the builder or installer of record under the permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.

Name: VALENTE GONZALEZ	Name:	
Address: 13066 5TH ST. CHINO, CA. 91710	Address:	
Signature: Nuk Mal	Signature:	
Date: 09.29.2023 License #:	Date: License #:	

STUDIED

DESIGN & CONSTRUCTION

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ISSUE NAME:

 REVISION:
 DATE

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 9.18.2024

 2
 6.16.2025

ROMANS RESIDENCE

Owner: ERIQUE ROMAN
9247 MELISSA CIRC.
JURUPA VALLEY,CA
Tel. 909.456.4777

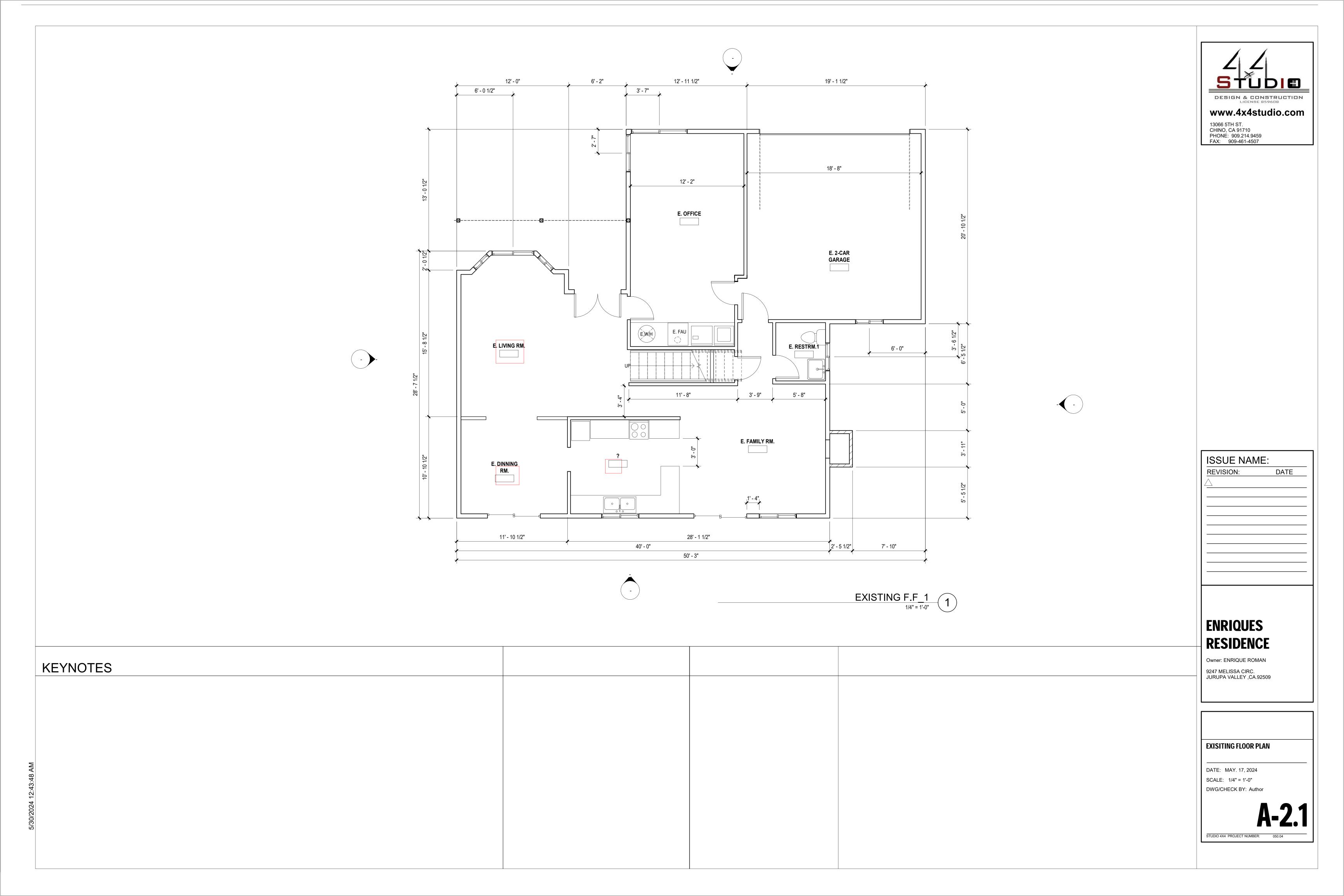
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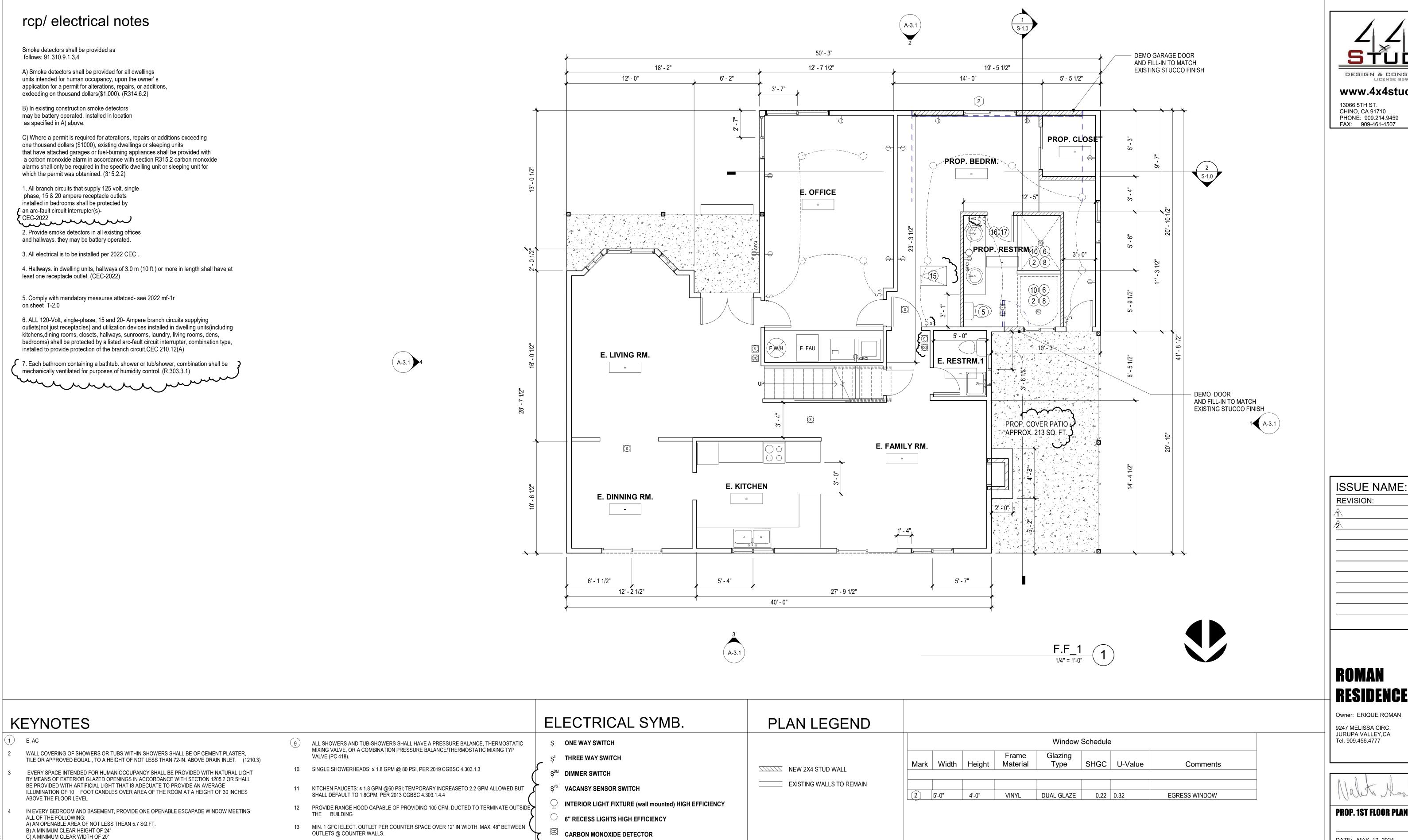
GREEN NOTES

DATE: MAY. 17, 2024 SCALE:

DWG/CHECK BY: Author

**A-2.**(





SMOKE DETECTOR

RECEPTICLE

GFI DUPLEX OUTLET (GFI)

LIGHT/FAN COMBINATION- 50 CFM

(ENERGY STAR COMPLIANT/ HUMIDITY CONTROL)

D) A SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR.

APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)

SHOWER STALL TO BE 1024 SQUARE

INCHES MIN. INTERIOR AND ENCOM-

PASS A 30" CIRCLE

PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER

BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER

COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THEN 6 FT. ABOVE THE FLOOR (R307.2)

PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN

HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

14 PROVIDE FLOURECENT OR LED LIGHTING FIXTURES PER 2019 N.E.C.

EXHAUST TO FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. LIGHTING

INTEGRAL TO AN EXHAUST FAN MAY BE ON THE SAME SWITCH AS THE FAN PROVIDED THE

LIGHTING CAN BE SWITCHED OFF WHILE ALLOWING TH FAN TO CONTINUE TO OPARATE FOR AN

15 (E) MIN. 22"x30" ATTIC ACCES

HUMIDISTAT SENSOR IN RESTROOM

EXTENDED PERIOD OF TIME. (150(K)2B CEC)

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**REVISION:** DATE 9.18.2024 6.16.2025

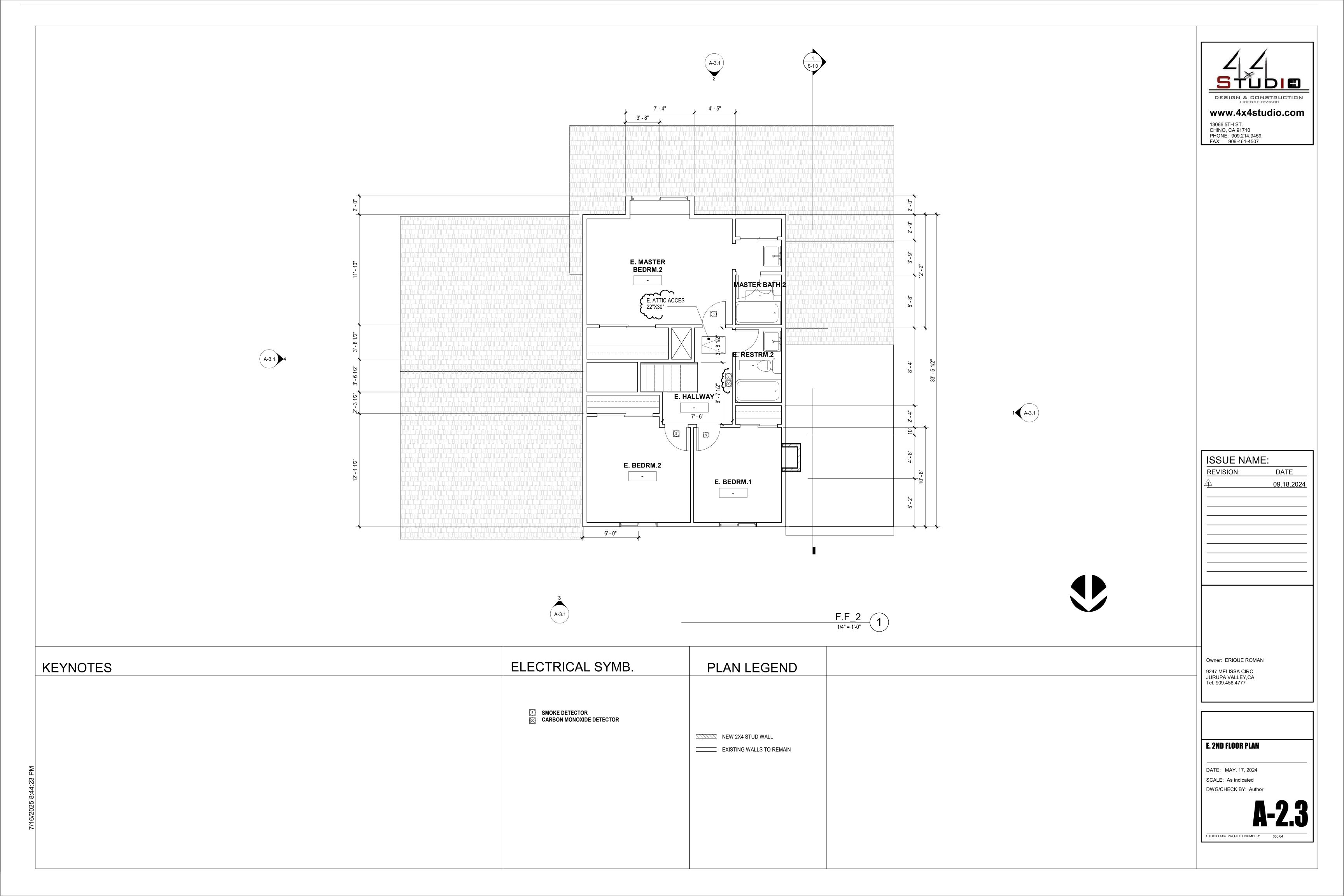
# ROMAN **RESIDENCE**

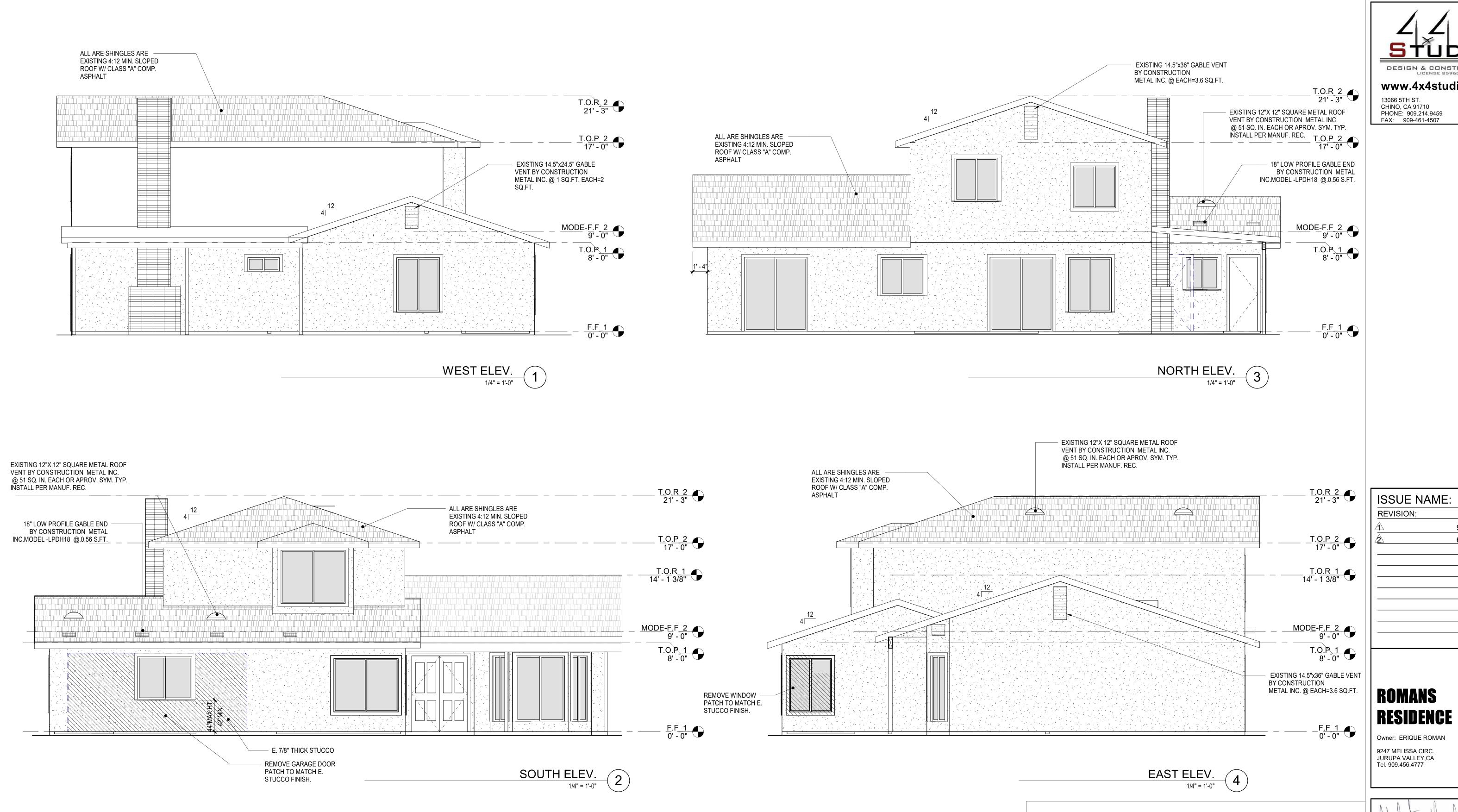
Owner: ERIQUE ROMAN 9247 MELISSA CIRC. JURUPA VALLEY,CA Tel. 909.456.4777

PROP. 1ST FLOOR PLAN

DATE: MAY. 17, 2024

SCALE: As indicated DWG/CHECK BY: Author





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#### ATTIC VENT CALC

ATTIC VENTS CAL.: REQUIRED: 705 SQ.FT. / 150 SQ.FT.= 4.7 SQ.FT.X 144= 676.8 SQ.IN.

(3) 24" DORMER VENTS BY CONSTRUCTION METAL INC. @ 0.69S.FT. EACH= 2.1 SQ.FT.

( 6) EV145 "14X5" UNDEREAVE VENTS BY CONSTRUCTION METAL INC. @ 0.56 SQ.FT. EACH=3.36 SQ.FT. TOTAL ATTIC VENT PROVIDED =5.46 SQ.FT. > 4.7 SQ.FT. REQ.

OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8" MINIMUM AND 1/4" MAXIMUM OPENING.

A MINIMUM OF 1" AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING

**E. ELEVATIONS** 

DATE: MAY. 17, 2024

SCALE: 1/4" = 1'-0" DWG/CHECK BY: Author

DATE

9.18.2024

6.16.2025

**ESR-1413** 

Effective Date: March 2025 This listing is subject to re-examination in one year.

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DIVISION: 09 00 00—FINISHES Section: 09 30 00—Tiling

REPORT HOLDER:

CUSTOM BUILDING PRODUCTS, INC. www.custombuildingproducts.com

**EVALUATION SUBJECT:** 

REDGARD® WATERPROOFING AND CRACK PREVENTION MEMBRANE, C-CURE PRO-RED WATERPROOFING MEMBRANE 963, CBP 232 WATERPROOFING AND ANTI-FRACTURE MEMBRANE AND JAMO® WATERPROOFING MEMBRANE

#### 1.0 EVALUATION SCOPE

- Compliance with the following codes:
- 2024, 2021, 2018, 2015, 2012, 2009 and 2006 International Building Code® (IBC) ■ 2024, 2021, 2018, 2015, 2012, 2009 and 2006
- International Residential Code® (IRC)
- 2024, 2021, 2018, 2015, 2012, 2009 and 2006 International Plumbing Code® (IPC)

#### Compliance with the following standards:

■ AC115, ICC-ES Acceptance Criteria for Waterproof Membranes for Flooring and Shower Liners, approved date June 2003 (editorially revised August 2013)

■ TCNA/ANSI A118.10-2023, Specification for Load Bearing Bonded, Waterproof Membranes for Thin-Set Ceramic Tile and Dimensions Stone Installation

#### Property evaluated: Water resistance

#### **2.0 USES**

RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane are used on concrete floors, as a barrier to liquid water migration, in bonded, thin-set installations of ceramic tile and dimensional stone under the IBC and IRC. The membranes are also used as a shower sub-pan lining material in accordance with

#### the IPC. 3.0 DESCRIPTION

3.1 General:

RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane are liquid-applied, elastomeric waterproofing materials that cure to form a monolithic membrane.

#### 3.2 Materials:

3.2.1 Membrane: RedGard®, C-Cure Pro-Red, CBP 232 and Jamo® waterproofing membranes are ready-to-use liquids. RedGard® is available in 1-gallon (3.78 L) and 3.5gallon (13.2 L) pails. C-Cure Red is available in 2-gallon (7.56 L) and 5-gallon (18.9 L) pails. CBP 232 Waterproofing Membrane is available in 1-gallon (3.78 L), material must not be allowed to freeze.

corners, change of plane, around drains and over minor substrate cracks.

#### 4.0 INSTALLATION

#### 4.1 Surface Preparation:

All exterior and wet areas must be sloped for drainage, with all surfaces structurally sound, clean, dry and free from contaminants that would diminish the bond. Newly prepared concrete shall be cured a minimum of 28 days, and surfaces shall be troweled smooth then textured to a fine broom finish. All existing surfaces shall be flat or leveled when necessary and all defects repaired. All cracks in concrete up to 1/8 inch wide (3.2 mm) shall be prefilled with the liquid membrane and cured prior to application. The material shall extend beyond both sides of the crack a minimum of the diagonal measurement of the tile or stone. Cracks that are wider than 1/8 inch (3.2 mm) must be treated as expansion joints in accordance



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#### 4.2 Membrane Application:

(1.27 mm)] thick when wet and 25 mils [0.025 inch (0.64 mm)] thick when dry. A minimum of sixty minutes of curing time is required after application.

#### 4.3 Application over Expansion Joints:

joints. When applied over expansion joints, the joint must be cleaned, and an opened or closed-cell backer rod is installed to proper depth as specified by the designer. A sealant must be compressed into the joint, coating the sides and leaving the joint flush with the surface. After the sealant is dry, bond breaker tape specified by the manufacturer must be placed over the joint. Two coats of membrane must be applied at a minimum of 25 mils [0.025 inch (0.64 mm)] wet-film thickness per coat over the joint and substrate following the instructions in Section 4.2 of this report. The tiles or stones are then applied over the membrane, leaving a gap over the joint as specified by the designer. After the work is set, the joint must be filled as specified by the designer.

#### 4.4 Method of Repair:

The membrane in the area requiring repair must be removed and the area cleaned, allowing for a minimum 2-inch (51 mm) overlap. Two coats of membrane must be applied as described in Section 4.2 of this report.

The RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane

- **5.1** Application must comply with this report, the manufacturer's published installation instructions and the applicable code. In the event of a conflict between the installation instructions and this report, this report
- **5.2** Application is limited to ceramic tile and dimension stone installations on floors and for use as shower

3.5-gallon (13.2 L) and 5-gallon (18.9 L) pails. Jamo® Waterproofing Membrane is available in 1-gallon (3.78 L) and 5-gallon (18.9 L) pails. Shelf life is one year from date of manufacture when the material is stored indoors at room temperature and when the pail is unopened. The liquid 3.2.2 Fiberglass Mesh: The reinforcing mesh is an alkali-resistant fiberglass fabric that is provided in 2-inch-wide-by-50-, 100- and 300-foot-long (51 mm by 15.2. 30.5 and 91.4 m) or 6-inch-wide-by-50-yard-long (152 mm by 45.7 m) rolls for use as reinforcement in

Installation of RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane must comply with this report and the manufacturer's published installation instructions. The manufacturer's published installation instructions shall be available at the jobsite at all times during installation.

with Section 4.3.

Listings are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the listing or a recommendation for its use. There is no warranty by ICC Evaluation Service, LLC, express or implied, as to any finding or other matter in this listing, or as to any product covered by the listing.

Page 1 of 2

All porous surfaces must be dampened, and a 3/4-inch-<sup>1</sup>/<sub>4</sub>-inch-by-<sup>3</sup>/<sub>16</sub>-inch (6.4 mm by 4.8 mm) V-notch trowel, must be used to apply the membrane. On corners where floors and walls meet, a maximum precoating of 90 mils [0.090 inch (2.3 mm)] of wet-film thickness is required that will extend up the walls to 6 inches (152 mm) on either side. As an option, a 6-inch-wide (152 mm) section of fiberglass mesh, as described in Section 3.2.2., may be embedded into the membrane at corners or where floors and walls meet. In lieu of the roller or trowel, an airless sprayer may be used. The sprayer must be operated between 1900 and 2300 psi (13.10 and 15.33 MPa) to produce a flow rate of 1.0 to 1.5 gallons (3.78 to 5.68 liter) per minute; the sprayer must have a tip orifice size of 0.025 to 0.029 inch (0.63 to 0.73 mm). A continuous film with overlapping spray must be applied. No seams are permitted. The membrane appears pink when wet and dark red when dry. After the first coat has turned red, with no blushing or light pink showing (approximately 11/2 to 2 hours), the film must be visually inspected for integrity, and all voids or pinholes must be filled with additional material. A second coat must be applied at right angles to the first. The film thickness must also be checked periodically with a wet-film gauge. The combined first and second coatings must be a minimum of 50 mils 0.050 inch

The membrane must not be used to bridge expansion

5.0 CONDITIONS OF USE

and Jamo® Waterproofing Membrane described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- governs.
- sub-pans or linings.

Page 2 of 2

#### **5.3** The membrane must not be used to bridge substrate expansion joints.

wide (19.1 mm), rough-textured synthetic roller, or a 5.4 The membrane recognized in this report is manufactured by Custom Building Products in Grand Prairie, Texas and Bell, California under a quality control program with annual inspection by ICC-ES. 6.0 IDENTIFICATION Containers of the RedGard® Waterproofing and Crack Prevention Membrane, C-Cure Pro-Red Waterproofing Membrane 963, CBP 232 Waterproofing and Anti-Fracture Membrane and Jamo® Waterproofing Membrane

> address, the product name, the date of manufacture and the evaluation report number (ESR-1413). 6.1 The report holder's contact information is the

described in this report are identified by a label bearing the manufacturer's name (Custom Building Products) and

CUSTOM BUILDING PRODUCTS, INC. 10400 Pioneer Blvd. Unit 3 Santa Fe Springs, CA 90670 (562) 370-6092

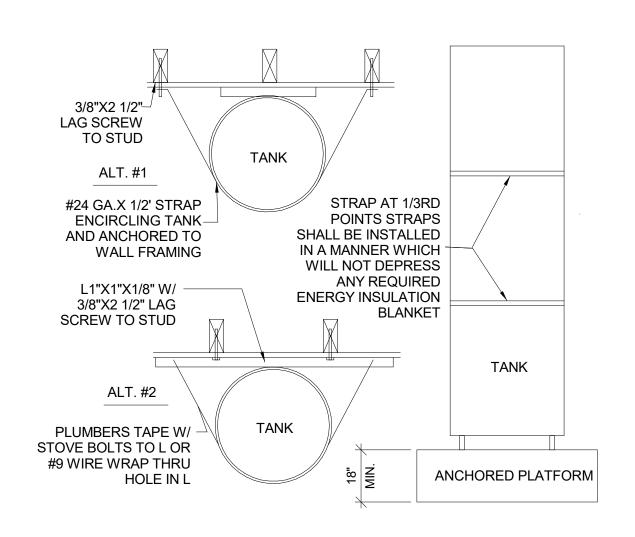
www.custombuildingproducts.com

following:

WEATHER FOLD UP WEATHER **MECHANICALLY RESISTIVE** RESISTIVE BARRIER FASTEN AS AND TEMPORARILY **BARRIER** NECESSARY IN SECURE CORNERS THROUGH FLASHING EXTERIOR SHEATHING PLATE FLASHING FLASHING OR CORNER DO NOT FLASH OVER PATCH RECOMMENDED **BOTTOM NAILING FLANGE** FALLOW SAME DETAIL FOR FLASHING INSTALLATION ON WEATHER RESISTIVE DOORS. BARRIER **HEAD FLASHING TIE-IN INSTRUCTIONS:** 1. CUT, FOLD UP AND TEMPORARILY SECURE WEATHER RESISTIVE BARRIER ABOVE WINDOW HEADER TO ALLOW FOR FLASHING INSTALLATION 2. INSTALL GRACE VYCOR PLUS HEAD FLASHING UNDER WEATHER RESISTIVE BARRIER ALONG HEADER 3. FOLD WEATHER RESISTIVE BARRIER BACK OVER HEAD FLASHING AND SEAL WITH TAPE AS SHOWN ABOVE

## WINDOW AND DOOR FLASHING DET





# EXISTING W.H. STRAP 2



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**REVISION:** DATE 9.18.2024 6.16.2025

**ISSUE NAME:** 

**ROMANS RESIDENCE** 

Owner: ERIQUE ROMAN 9247 MELISSA CIRC. JURUPA VALLEY,CA

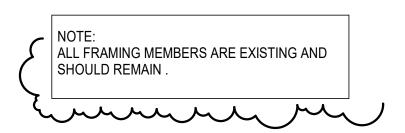
Tel. 909.456.4777

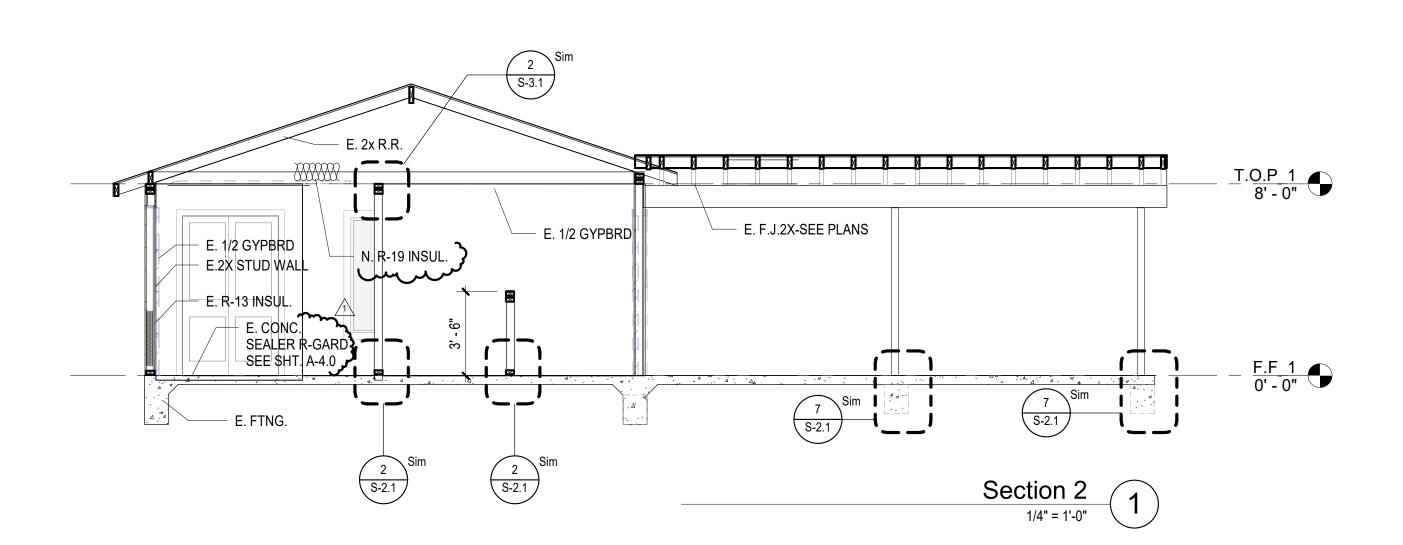
**ARCH. DETAILS** 

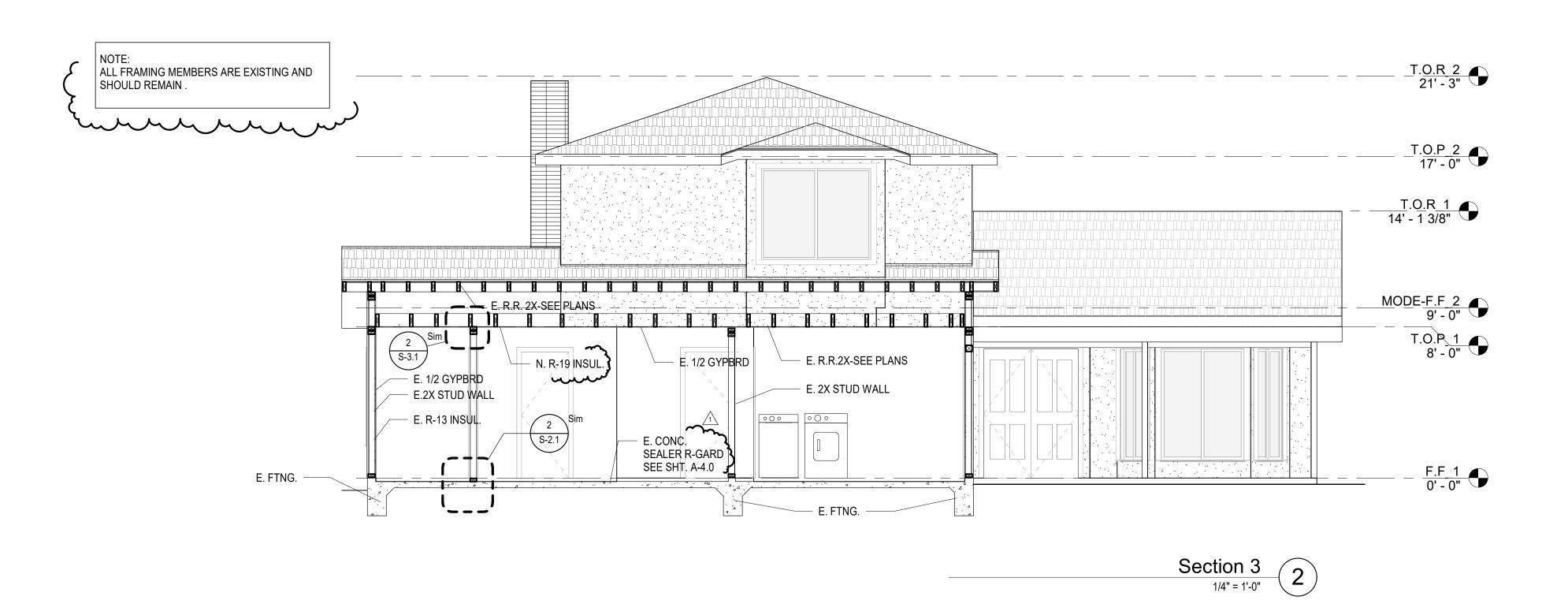
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DWG/CHECK BY: Author









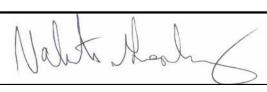
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# ROMANS RESIDENCE

Owner: ERIQUE ROMAN
9247 MELISSA CIRC.
JURUPA VALLEY,CA
Tel. 909.456.4777



# SECTIONS

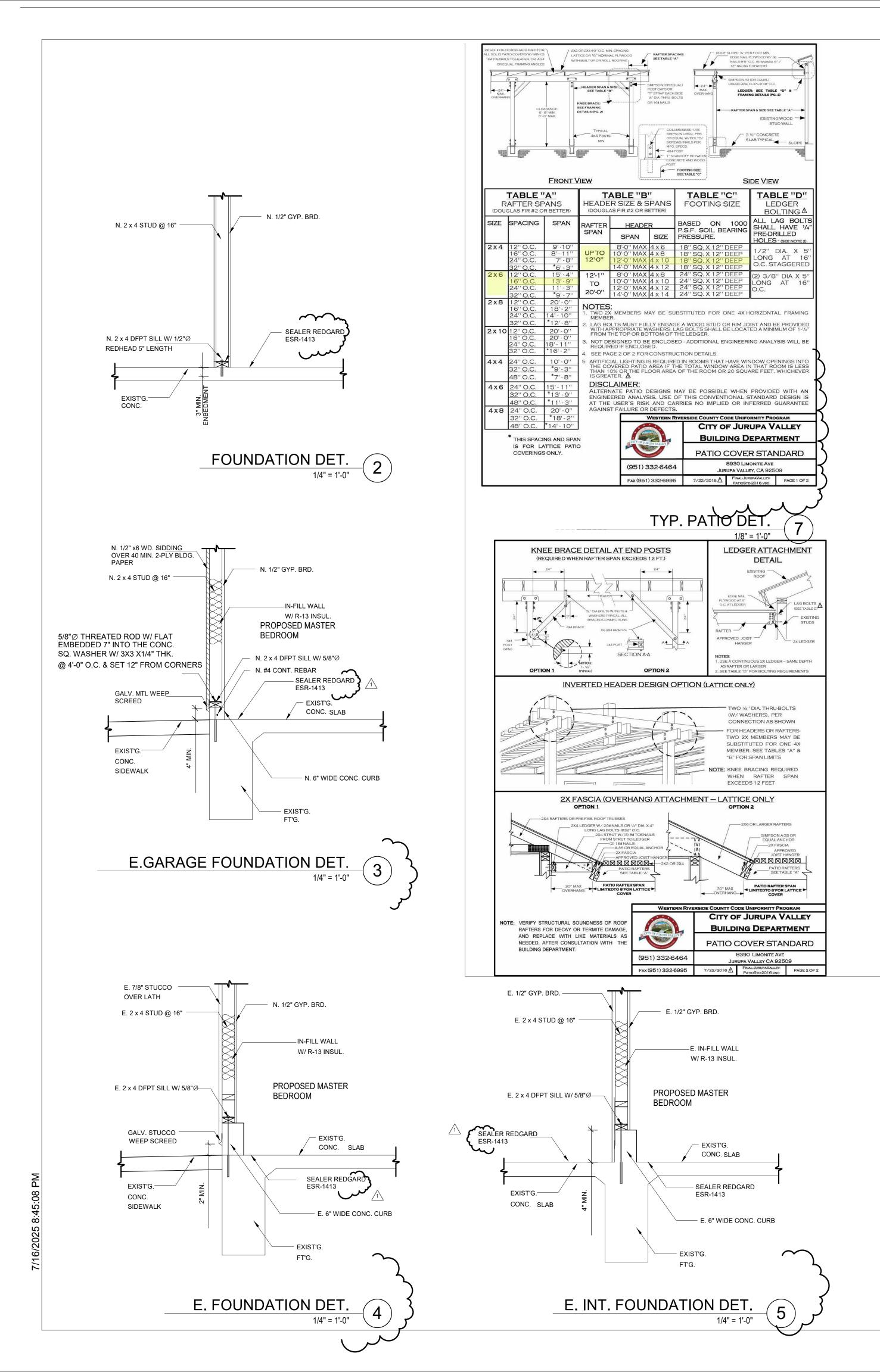
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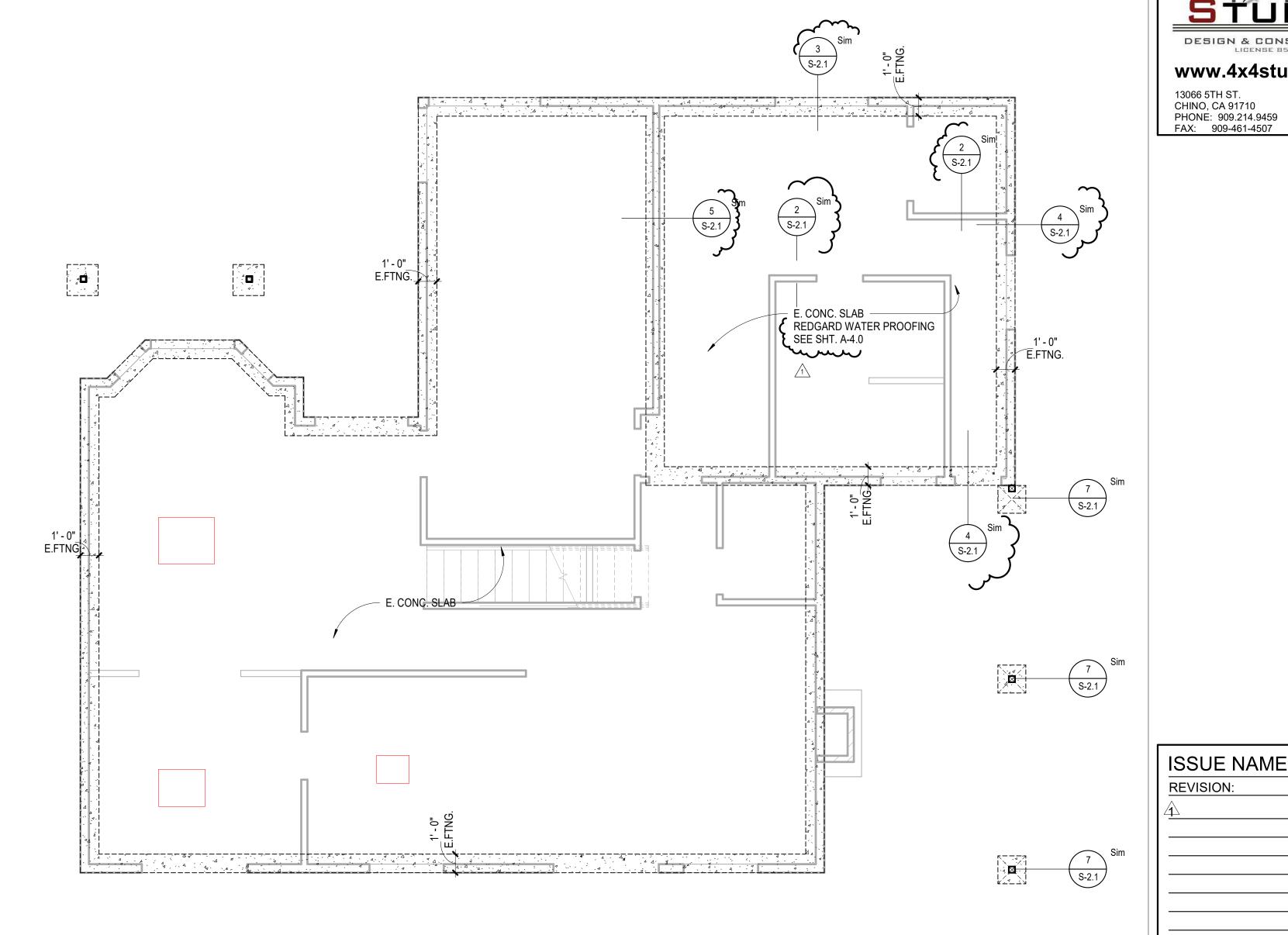
SCALE: 1/4" = 1'-0"

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STUDIO 4X4 PROJECT NUMBER: 050.04

**S-1.**(





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**EXISTING** FOUNDATION 12" WIDE X 12" DEEP

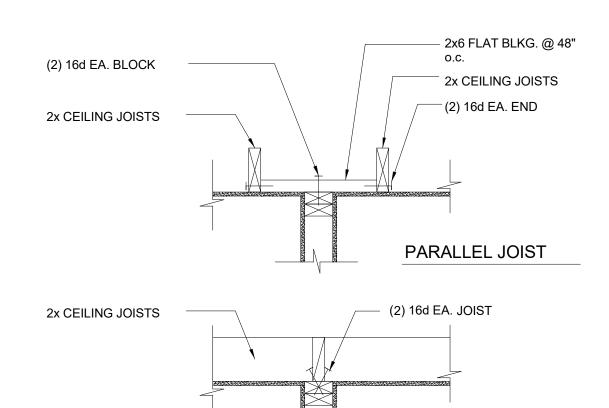
18" SQ. X 12" DEEP CONC. PAD

E.FOUNDATION PLAN 1

**E. FOUNDATION PLAN** 

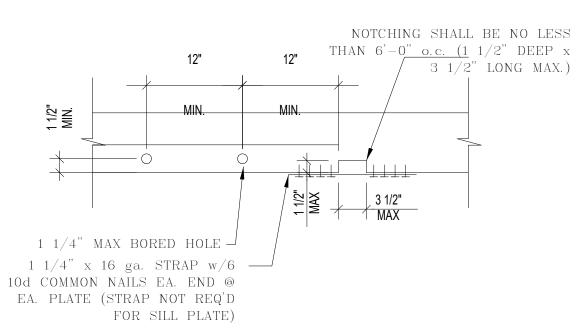
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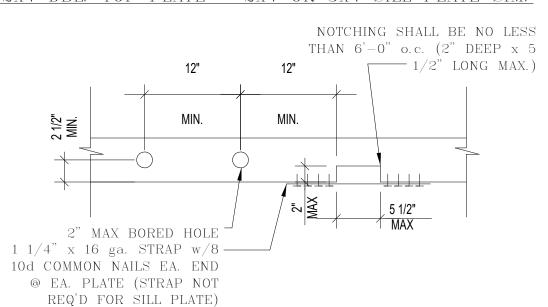




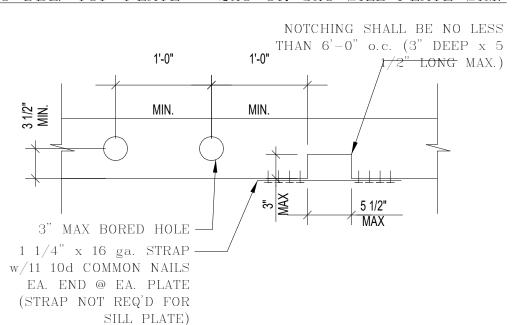
PERPENDICULAR JOIST



2x4 DBL. TOP PLATE - 2x4 OR 3x4 SILL PLATE SIM.

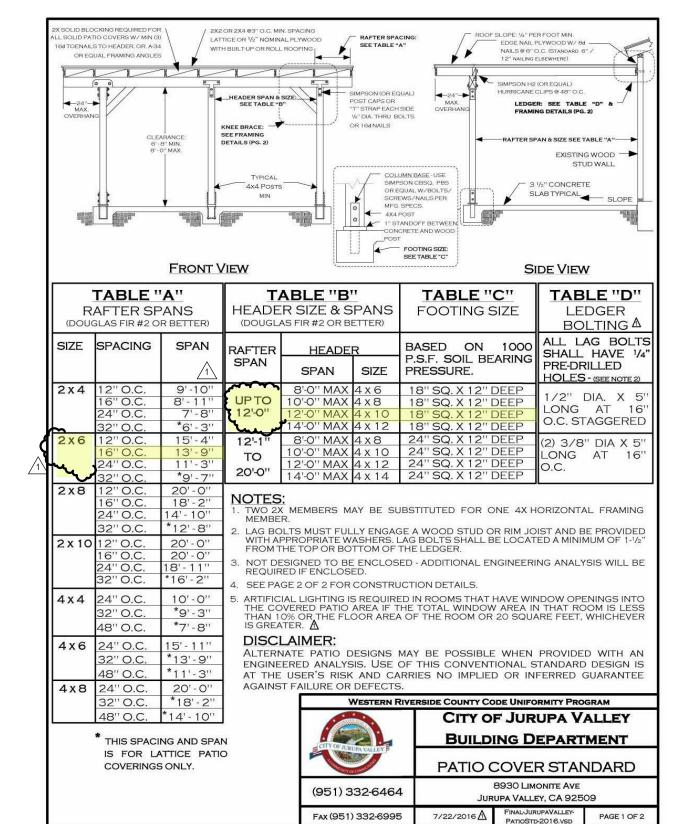


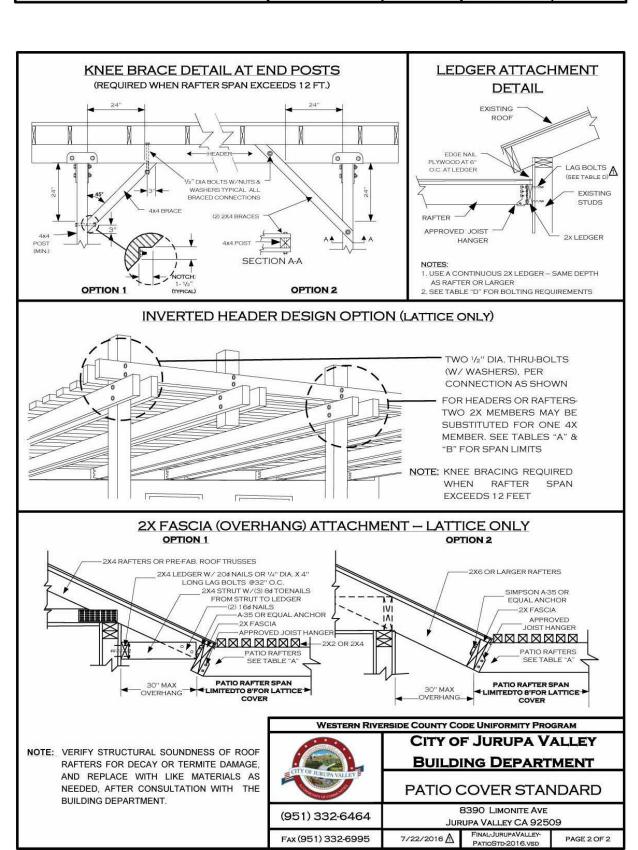
2x6 DBL. TOP PLATE - 2x6 OR 3x6 SILL PLATE SIM.

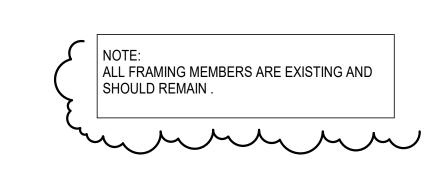


2x8 DBL. TOP PLATE - 2x8 OR 3x8 SILL PLATE SIM.





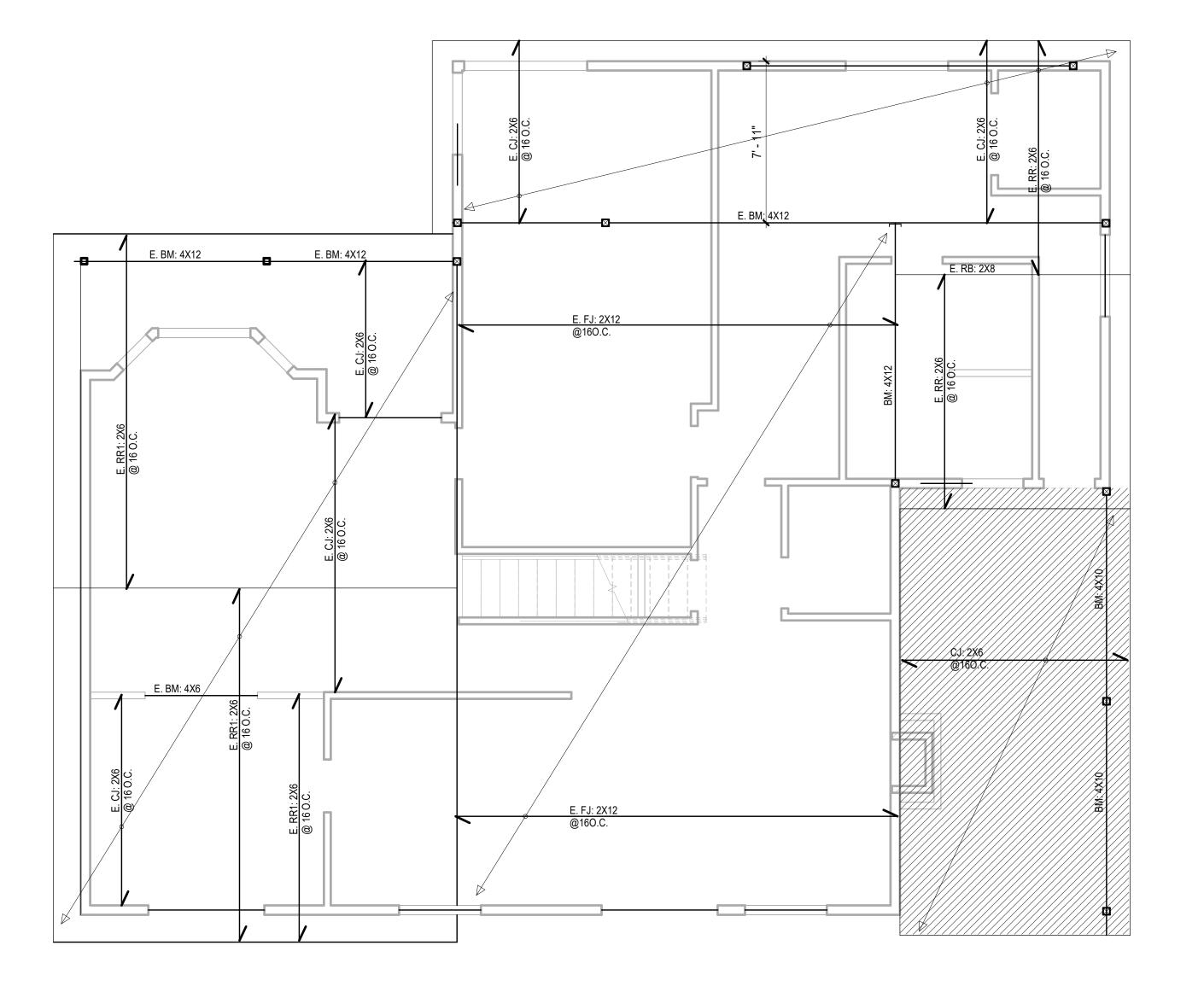






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E.F.F-1ST FRAMING PLAN

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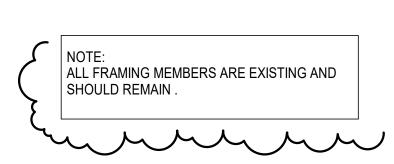


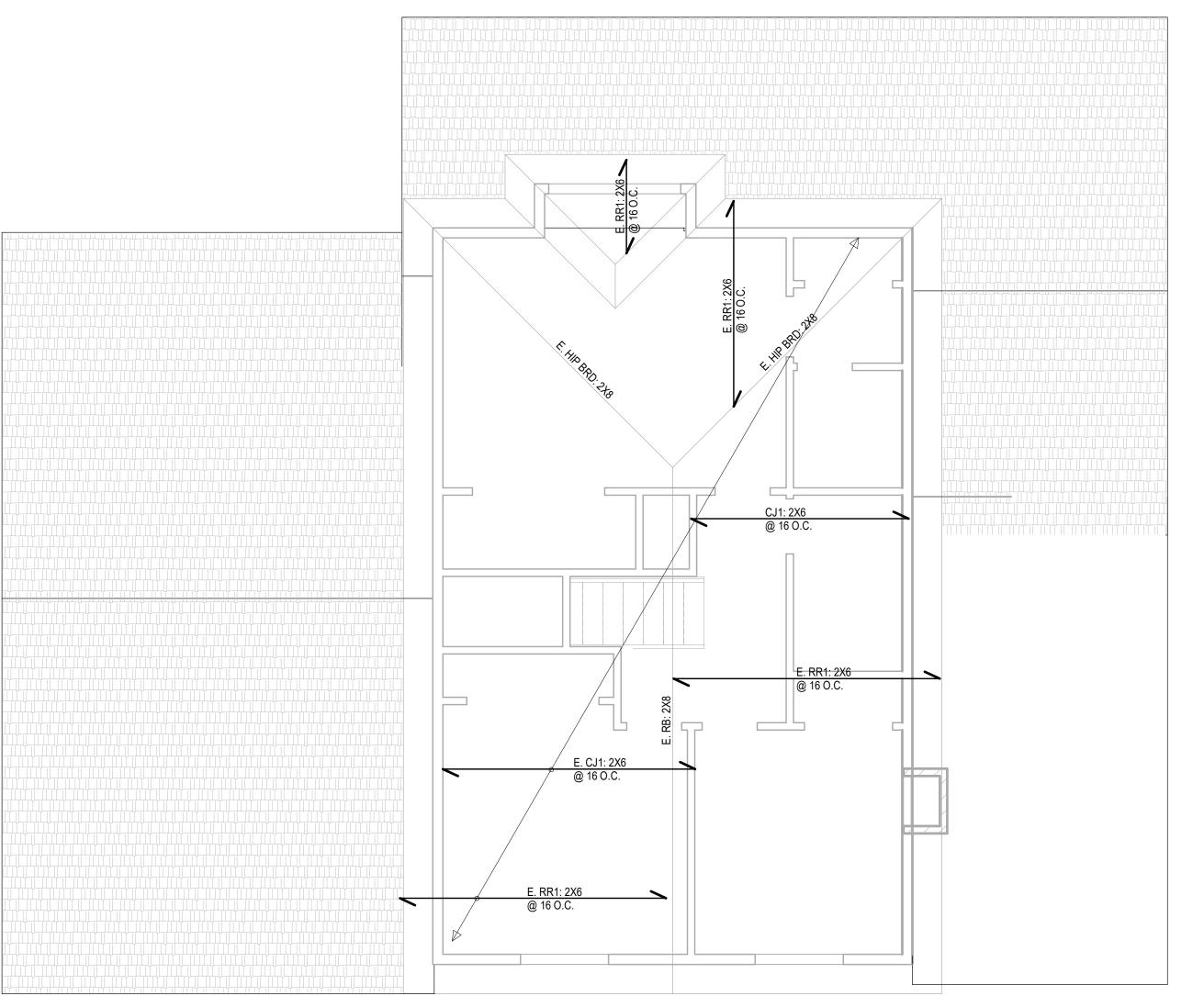
F.F\_1 FRAMING PLAN

DATE: MAY. 17, 2024
SCALE: As indicated

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**S-3.**1





E.F.F\_2 FRAMING PLAN
1/4" = 1'-0"
1



ISSUE NAME:	
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F.F\_2 FRAMING PLAN

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